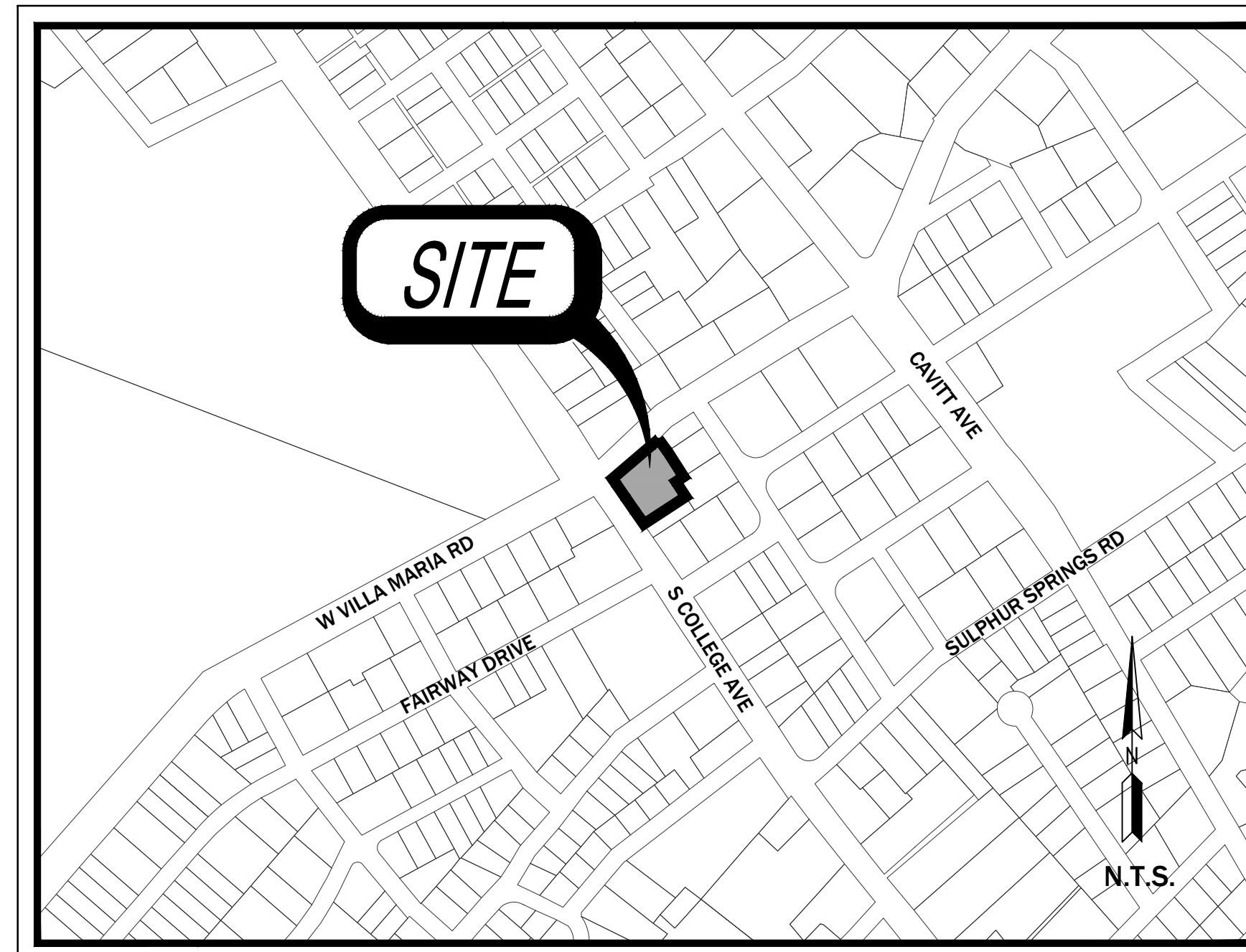


S COLLEGE FUEL STATION

BRYAN, TEXAS
OCTOBER, 2023

ENGINEER:
MITCHELL & MORGAN, L.L.P.
3204 EARL RUDDER FWY. S.
COLLEGE STATION, TEXAS 77845
(979) 260-6963



OWNER:
VIJAY KUMAR
EL ELOHIM LLC
4308 EGREMONT PL
COLLEGE STATION, TEXAS 77845
979-255-6045

VICINITY MAP

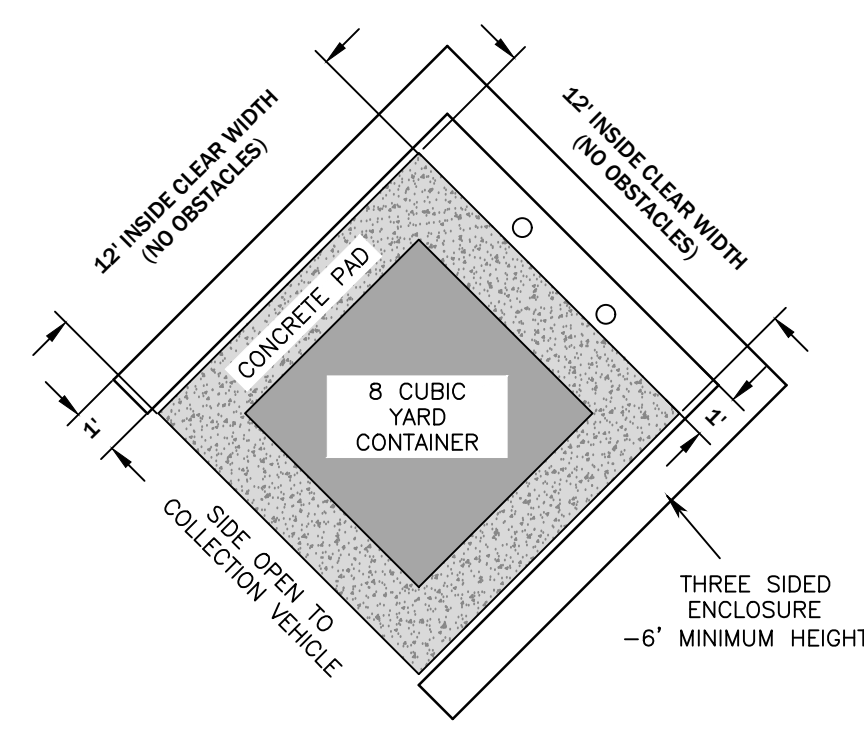
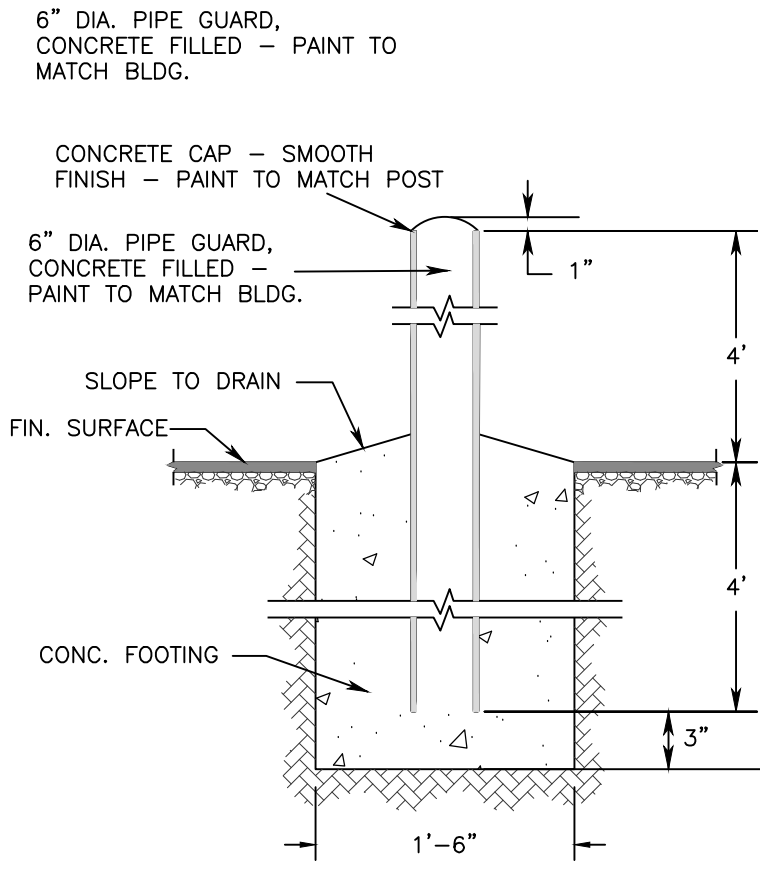
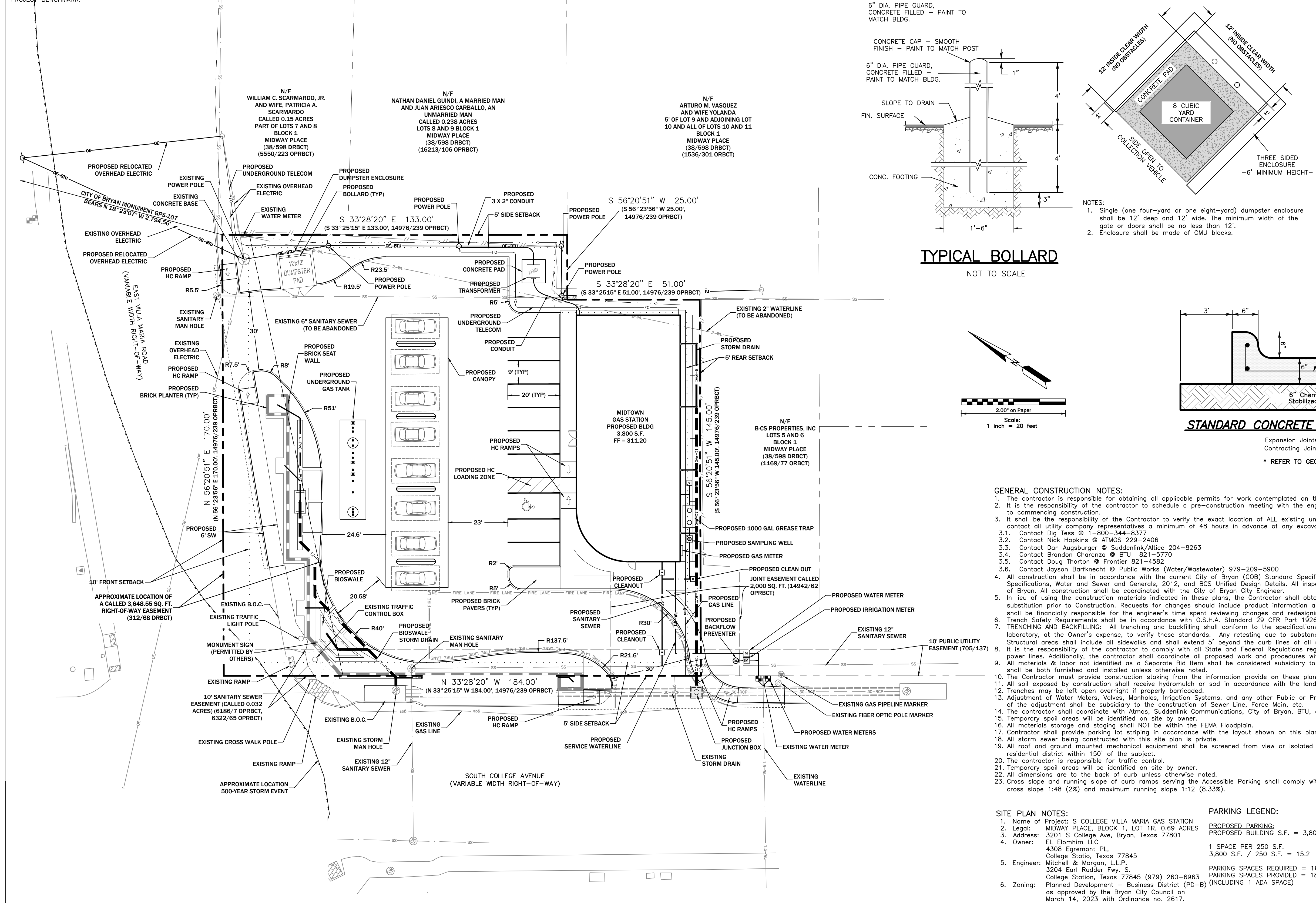
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INDEX OF SHEETS

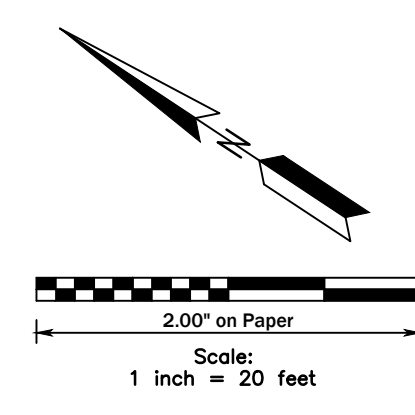
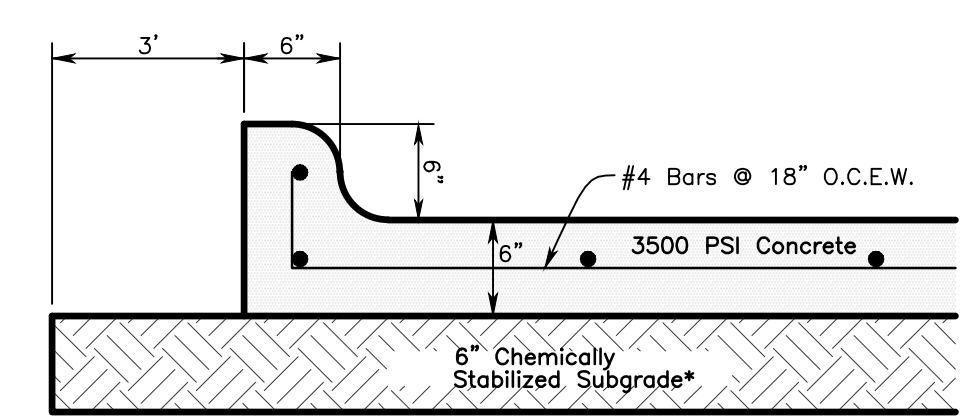
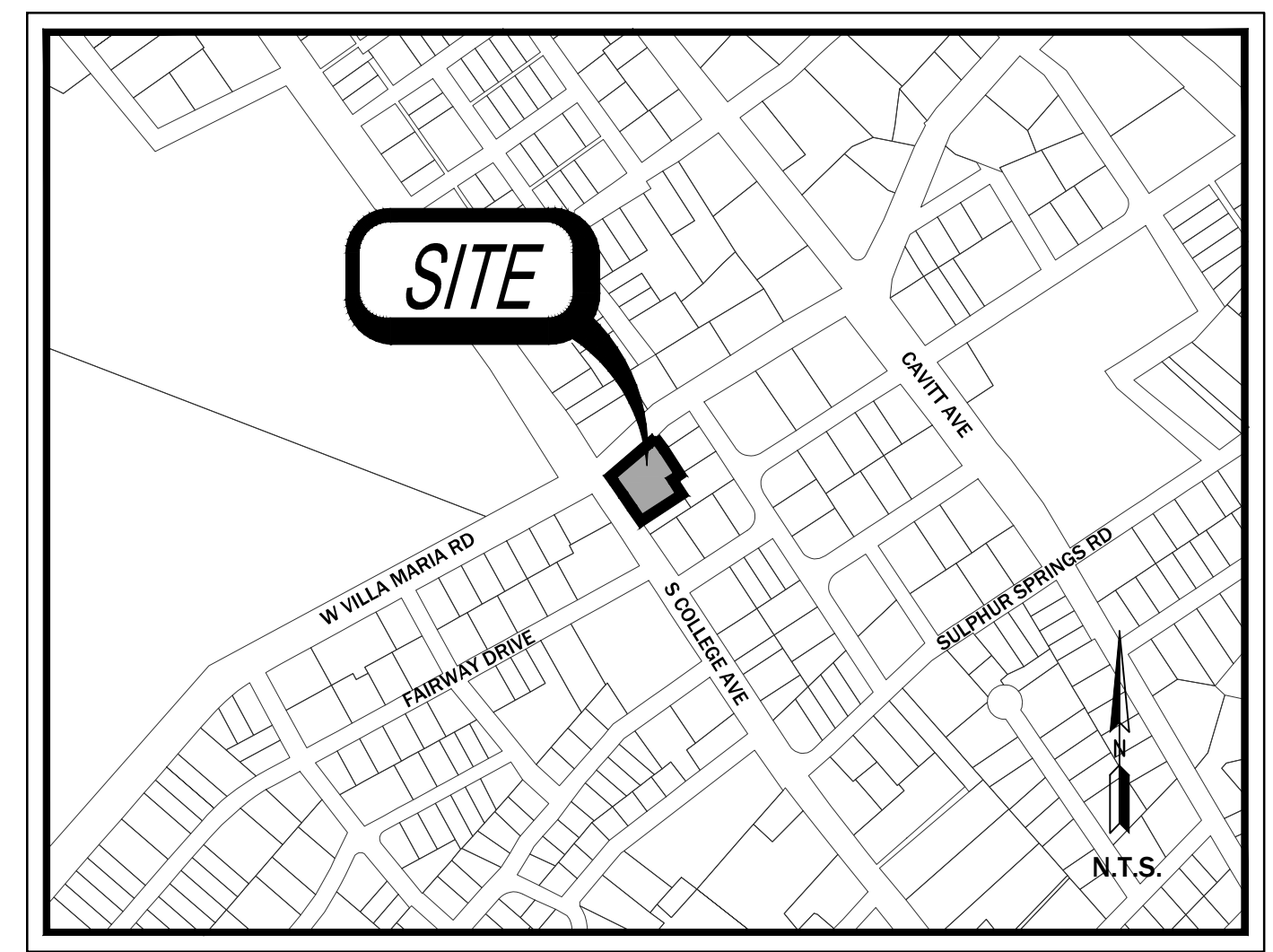
- SP - SITE PLAN
- DP - DEMO PLAN
- GP - GRADING PLAN
- PP - PAVING PLAN
- PD - PAVING DETAILS
- UT - UTILITY PLAN
- ECP - EROSION CONTROL PLAN
- TCP - TRAFFIC CONTROL PLAN
- DT - MISCELLANEOUS DETAILS
- LS1 - LANDSCAPE PLAN
- LS2 - LANDSCAPE GRADING
- D1 - LANDSCAPE DETAILS 1
- D2 - LANDSCAPE DETAILS 2

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intended for construction,
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Prepared by:
Veronica J.B. Morgan, P.E.
No. 77689

PROJECT BENCHMARK:

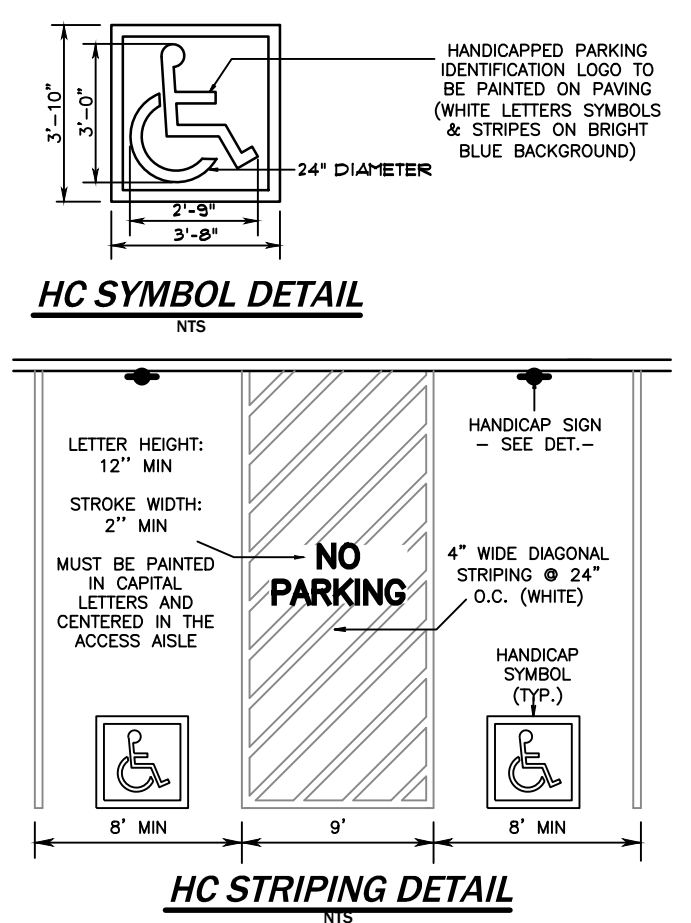
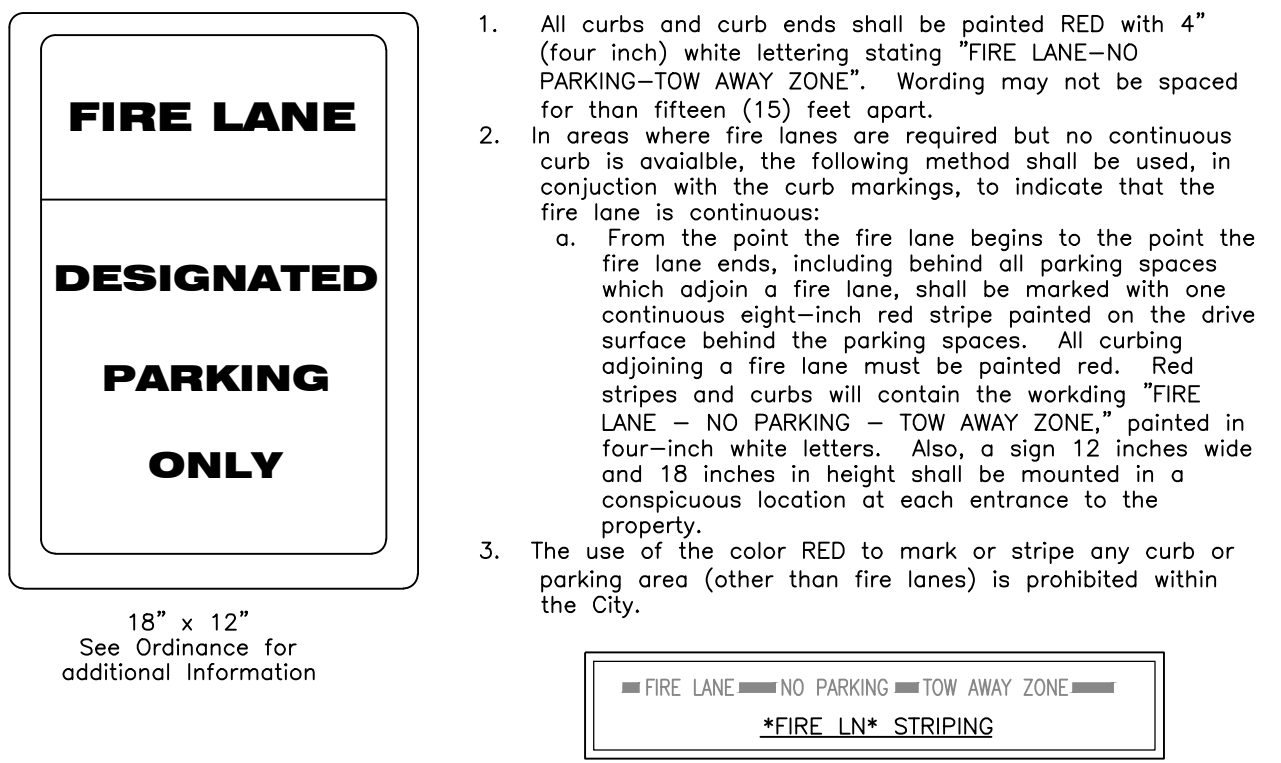
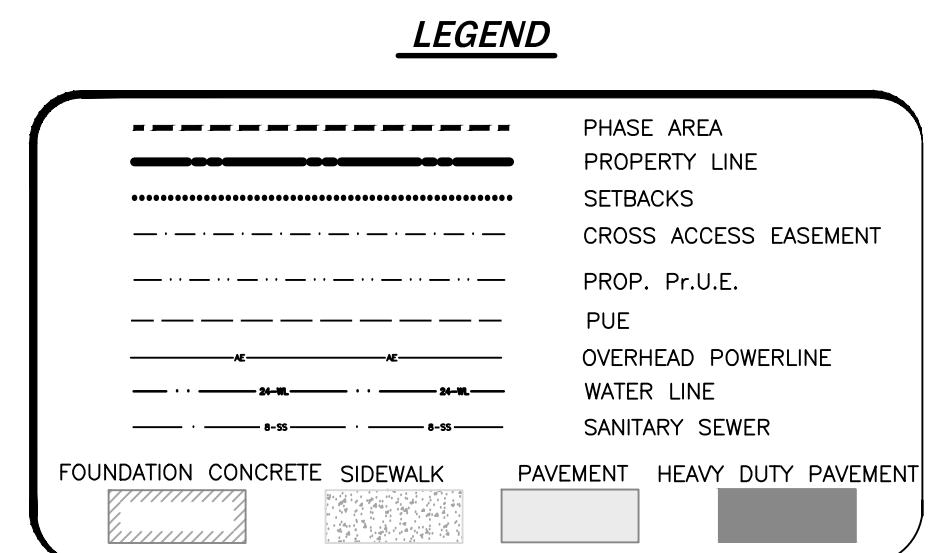


- NOTES:
- Single (one four-yard or one eight-yard) dumpster enclosure shall be 12' deep and 12' wide. The minimum width of the gate or doors shall be no less than 12'.
 - Enclosure shall be made of CMU blocks.



- GENERAL CONSTRUCTION NOTES:**
- The contractor is responsible for obtaining all applicable permits for work contemplated on these plans.
 - It is the responsibility of the contractor to schedule a pre-construction meeting with the engineer of record and the regulatory agency inspector prior to commencing construction.
 - It shall be the responsibility of the Contractor to verify the exact location of ALL existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
 - Contact Dig Ties @ 1-800-344-8377
 - Contact Nick Hopkins @ ATMS 229-2406
 - Contact Dan Augsburg @ Suddenlink/Altice 204-8263
 - Contact Brandon Charanze @ BTU 821-5770
 - Contact Doug Thornton @ Frontier 821-4562
 - Contact Jayson Barfknecht @ Public Works (Water/Wastewater) 979-209-5900
 - All construction shall be in accordance with the current City of Bryan (COB) Standard Specifications for Street Construction, B/CS Unified Technical Specifications, Water and Sewer and Generals, 2012, and BCS Unified Design Details. All inspection shall be performed by the staff of the City Engineer of Bryan. All construction shall be coordinated with the City of Bryan City Engineer.
 - In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer & Architect for any substitution prior to construction. Requests for changes should include product information and an engineer's seal where applicable. The contractor shall be financially responsible for the engineer's time spent reviewing changes and redesigning based on contractor's requests.
 - TRENCHING AND BACKFILLING: All trenching and backfilling shall conform to the specifications set out herein. Testing shall be provided by a certified laboratory, at the Owner's expense, to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and shall extend 5' beyond the curb lines of all streets, alleys and parking areas.
 - It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with the City of Bryan Electrical Division.
 - All materials & labor not identified as a Separate Bid Item shall be considered subsidiary to the item in which it is used. All materials and equipment shall be both furnished and installed unless otherwise noted.
 - The Contractor must provide construction staking from the information provide on these plans.
 - All soil exposed by construction shall receive hydromulch or sod in accordance with the landscape plan.
 - Trenches may be left open overnight if properly barricaded.
 - Adjustment of Water Meters, Valves, Manholes, Irrigation Systems, and any other Public or Private Utility, etc. are not separate pay items. The Price of the adjustment shall be subsidiary to the construction of Sewer Line, Force Main, etc.
 - The contractor shall coordinate with Atmos, Suddenlink Communications, City of Bryan, BTU, and Frontier to adjust the location of existing facilities.
 - Temporary spoil areas will be identified on site by owner.
 - All materials storage and staging shall NOT be within the FEMA Floodplain.
 - Contractor shall provide parking lot striping in accordance with the layout shown on these plans.
 - All storm sewer being constructed with this site plan is private.
 - All roof and ground mounted mechanical equipment shall be screened from view or isolated so as not to be visible from any public right-of-way or residential district within 150' of the subject.
 - The contractor is responsible for traffic control.
 - Temporary spoil areas will be identified on site by owner.
 - All dimensions are to the back of curb unless otherwise noted.
 - Cross slope and running slope of curbs serving the Accessible Parking shall comply with ICC A117.1 - 2009 Accessibility Standards. Maximum cross slope 1:48 (2%) and maximum running slope 1:12 (8.33%).

- SITE PLAN NOTES:**
- Name of Project: S COLLEGE VILLA MARIA GAS STATION
 - Legal: MIDWAY PLACE, BLOCK 1, LOT 1R, 0.69 ACRES
 - Address: 3201 S College Ave, Bryan, Texas 77801
 - Owner: EL Elomhim LLC
4308 Egremont PL,
College Station, Texas 77845
 - Engineer: Mitchell & Morgan, L.L.P.
3204 Earl Rudder Fwy. S,
College Station, Texas 77845 (979) 260-6963
 - Zoning: Planned Development - Business District (PD-B) as approved by the Bryan City Council on March 14, 2023 with Ordinance no. 2617.
- PARKING LEGEND:**
- PROPOSED PARKING:
PROPOSED BUILDING S.F. = 3,800 S.F.
1 SPACE PER 250 S.F.
3,800 S.F. / 250 S.F. = 15.2
PARKING SPACES REQUIRED = 16
PARKING SPACES PROVIDED = 18 (INCLUDING 1 ADA SPACE)
- Existing Use: Commercial
Proposed Use: Commercial
Setbacks: Per the PD-B
10. Overall Site Area: 0.69 Acres
11. Water Demands: Min. = 0 gpm
Peak = 470 GPD
11. Sanitary Demands: Min. = 0 gpm
Peak = 470 GPD
12. All pavement shall have a 6 inch curb unless otherwise noted.
13. The subject tract does not lie within the 100-year floodplain boundary according to the F.E.M.A. Flood Insurance Rate Maps for Brazos County, Texas and incorporated areas, Community No. 48041, Panel No. 0215F, Map No. 48041C0215F. Effective Date: April 2, 2014.
14. Signage shall be permitted separately.
15. Building shall be one story tall.
16. Fire Flow Information: Building Type = II N
Structure Size = 3,800 SF
Req'd Fire Flow = XX gpm



MITCHELL MORGAN

T.979.260.6963
F.979.260.3564
TX. FIRM # F-1443

3204 EARL RUDDER FWY. S.
COLLEGE STATION, TX 77845

PLAN & DESIGN SPECIALISTS IN
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Mitchell & Morgan, P.E.
Wendell J. Morgan, P.E.
No. 77845

AUGUST 2023
Drawn By: TTE
Checked By: VM

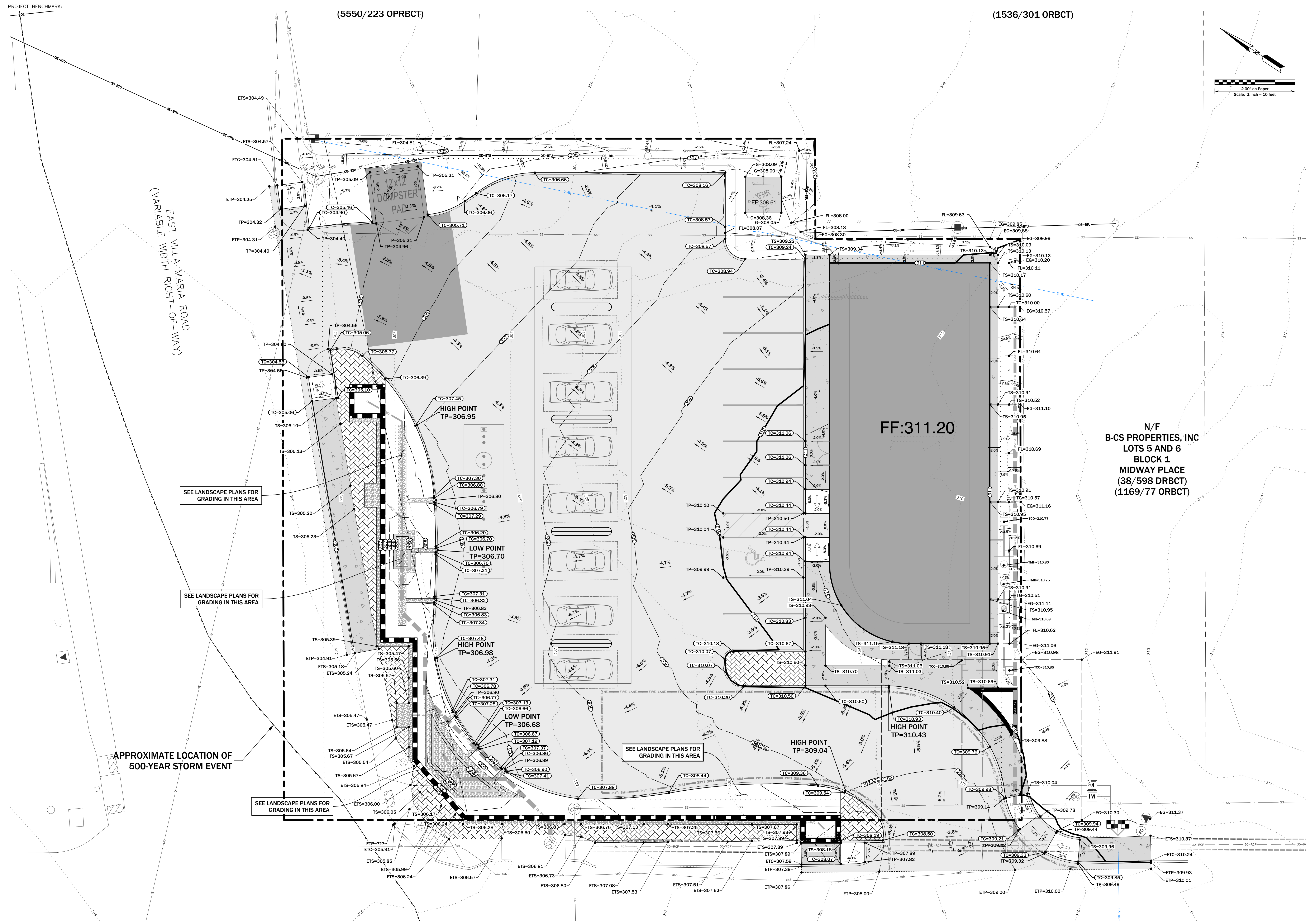
Prepared For:
Wijay Kumar
Elomhim LLC
4308 Egremont Pl.
College Station, Texas
77845

Revisions

SITE PLAN

3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

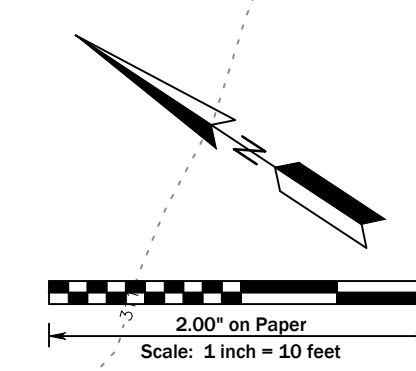
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PROJECT BENCHMARK:

(5550/223 OPRBCT)

(1536/301 ORBCT)



**MITCHELL
M&M
MORGAN**

T.979.260.6963
F.979.260.3564
TX. FIRM # F-1443

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Wentworth J. Morgan, P.E.
License No. 77845

AUGUST 2023
Drawn By: TTE
Checked By: VM

Prepared For:
Wijay Kumar
Soham LLC
4306 College Station, Texas
77845

EAST VILLA MARIA ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

N/F
B-CS PROPERTIES, INC
LOTS 5 AND 6
BLOCK 1
MIDWAY PLACE
(38/598 DRBCT)
(1169/77 ORBCT)

SEE LANDSCAPE PLANS FOR
GRADING IN THIS AREA

SEE LANDSCAPE PLANS FOR
GRADING IN THIS AREA

APPROXIMATE LOCATION OF
500-YEAR STORM EVENT

SEE LANDSCAPE PLANS FOR
GRADING IN THIS AREA

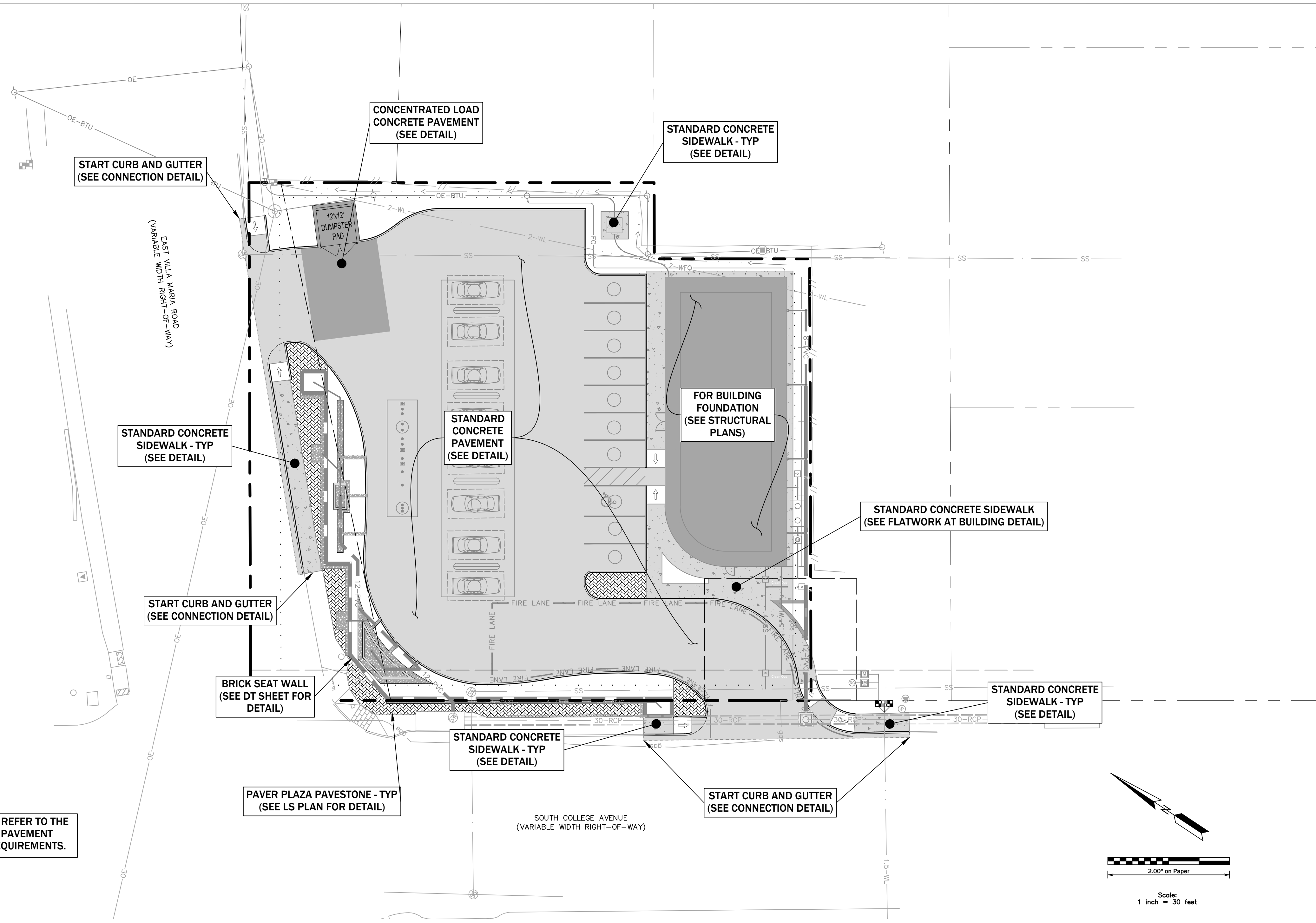
SEE LANDSCAPE PLANS FOR
GRADING IN THIS AREA

Revisions

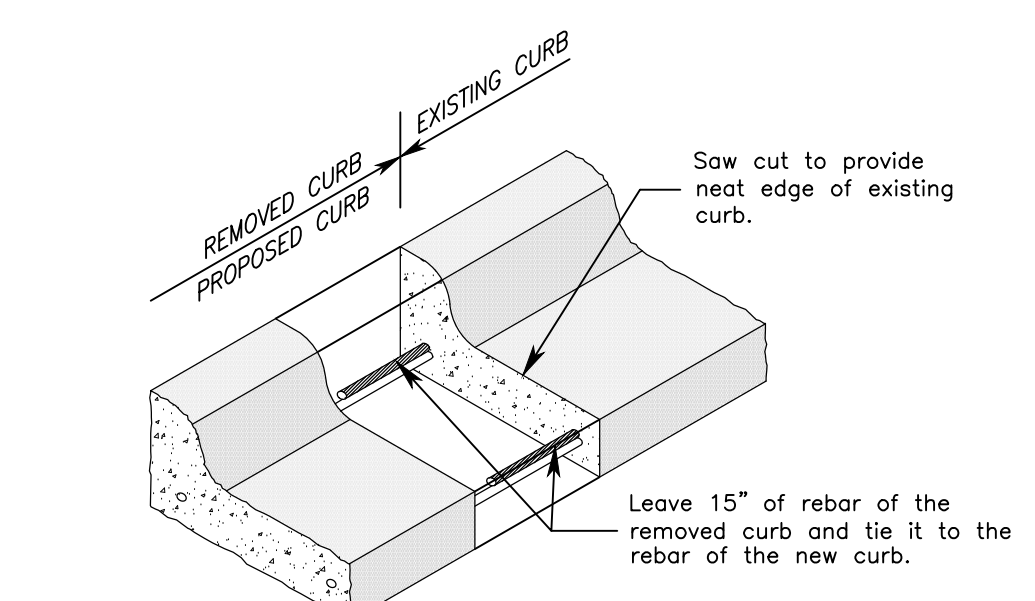
GRADING PLAN

3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

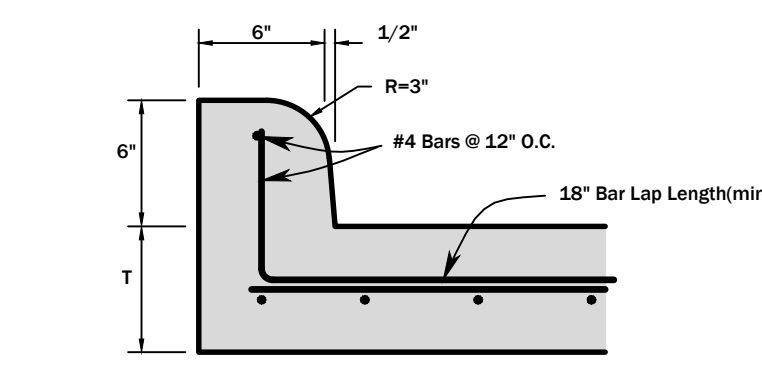
GP



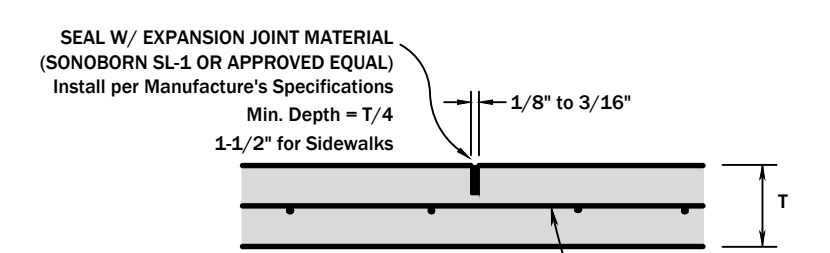
NOTE: CONTRACTOR SHALL REFER TO THE GEOTECH REPORT FOR ALL PAVEMENT AND SITE PREPARATION REQUIREMENTS.



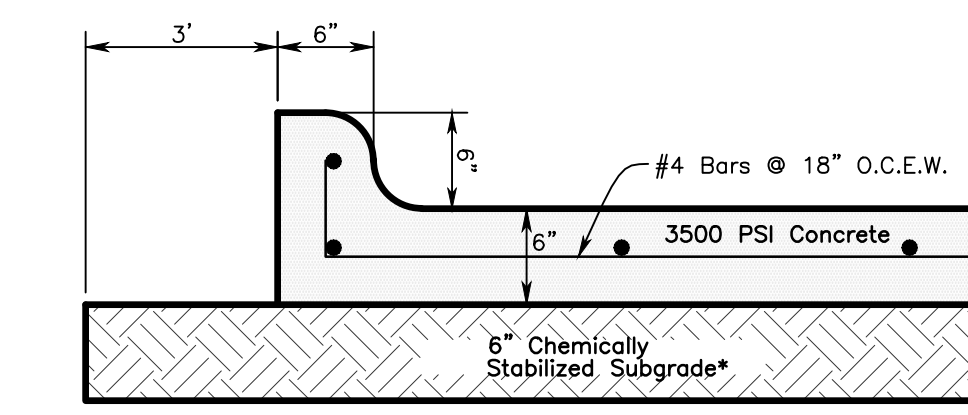
CONNECT TO EXISTING CURB DETAIL
NTS



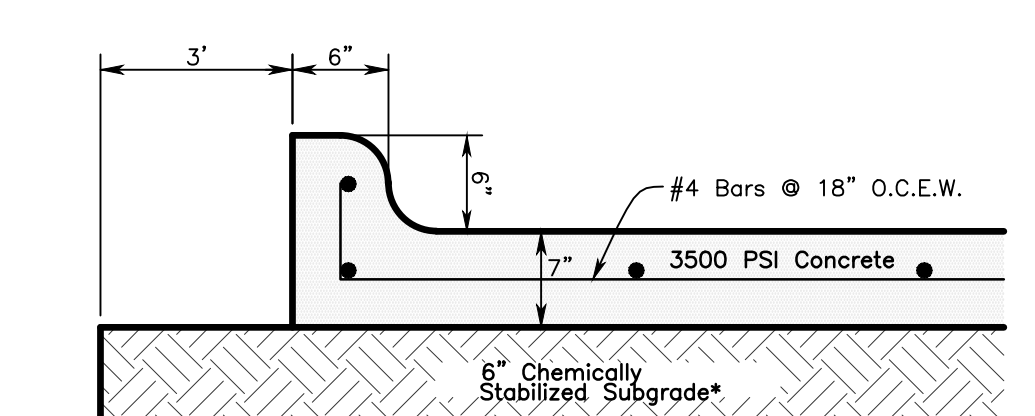
TYPE II CURB
FOR USE WITH CONCRETE PAVEMENT OR APRON ALL CURBS SHALL BE CAST MONOLITHICALLY WITH CONCRETE PAVEMENT EXCEPT AT INTERSECTION RADII WHERE REBAR SHALL BE LEFT PROTRUDING FROM THIS INITIAL POUR.



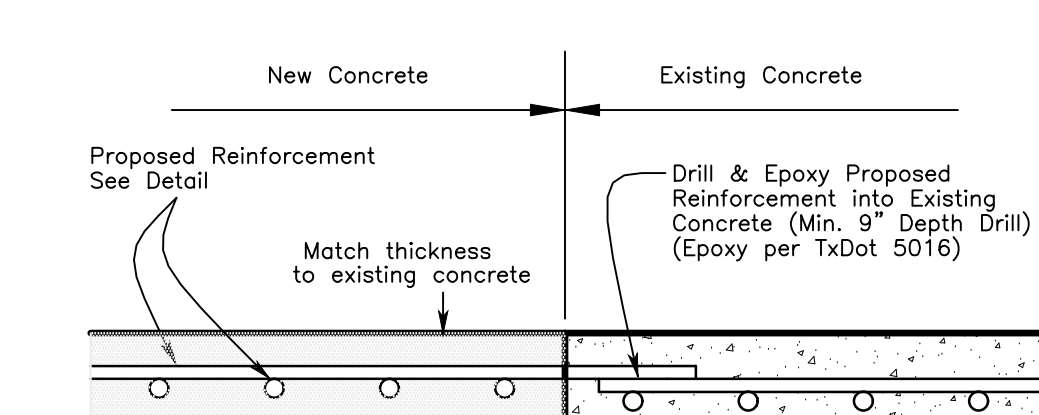
CONTRACTION JOINT
15' spacing



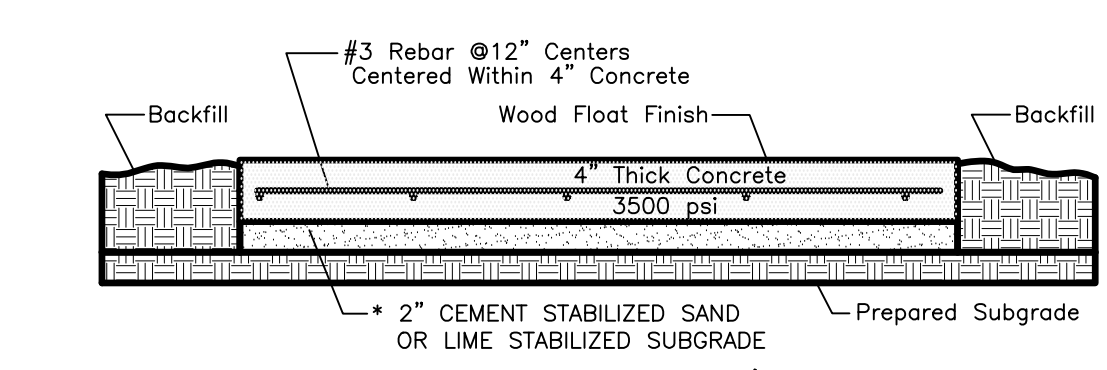
STANDARD CONCRETE PAVEMENT DETAIL
Expansion Joints @ 60' o.c.
Contracting Joints @ 15' o.c.
* REFER TO GEOTECH REPORT



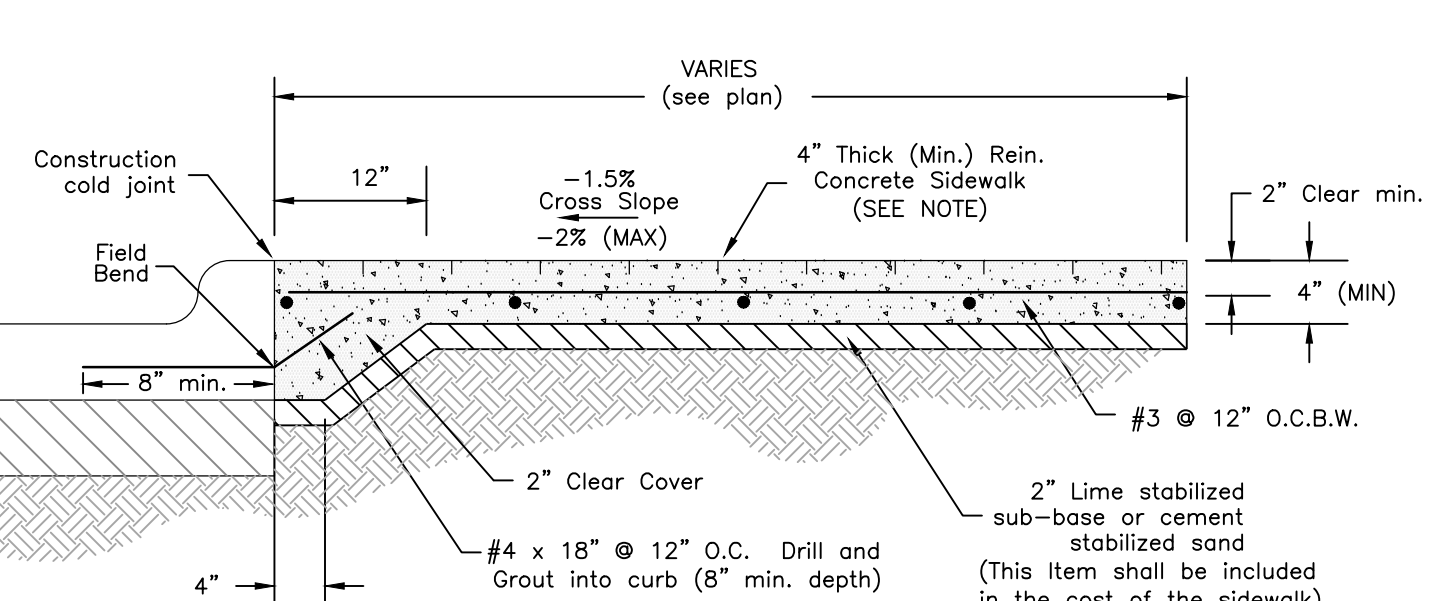
CONCENTRATED LOAD CONCRETE PAVEMENT DETAIL
Expansion Joints @ 60' o.c.
Contracting Joints @ 15' o.c.
* REFER TO GEOTECH REPORT



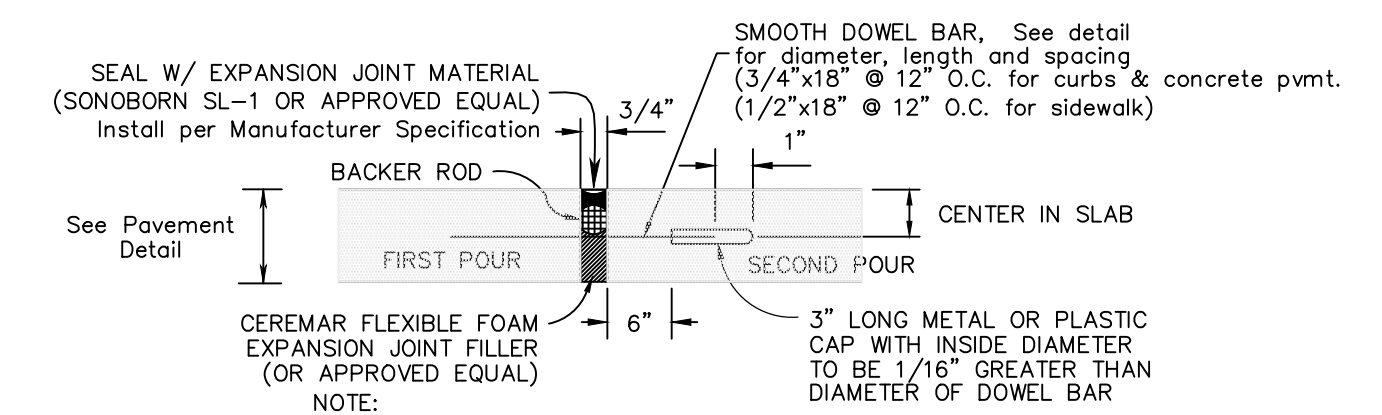
CONNECT TO EXISTING CONCRETE DETAIL
NTS



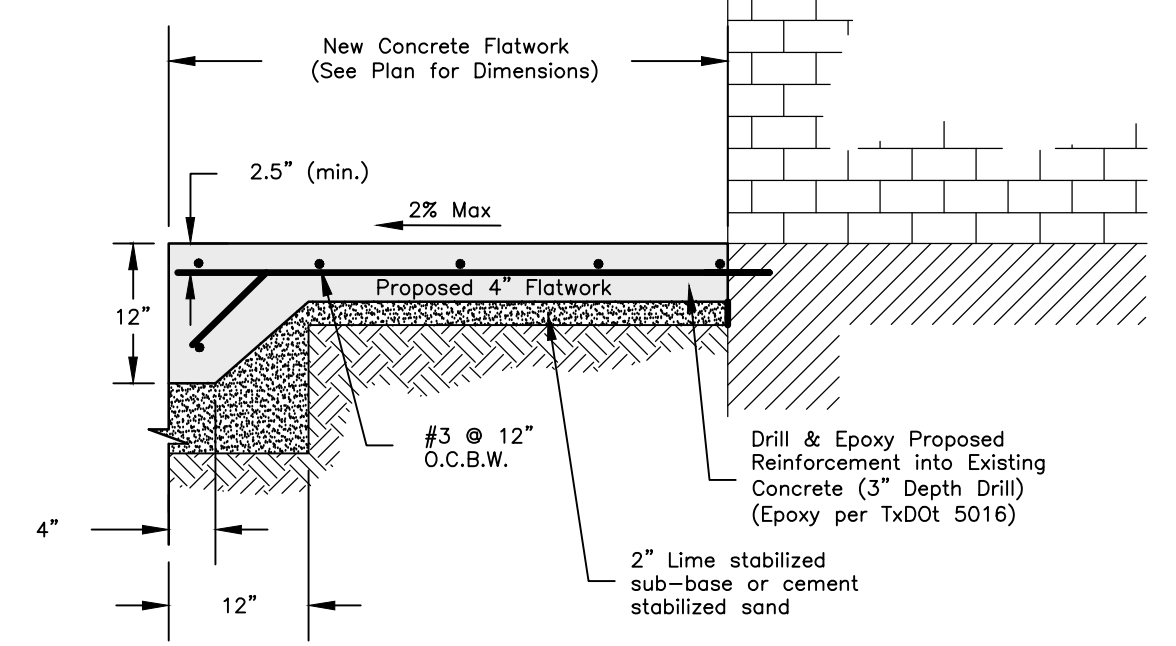
STANDARD CONCRETE SIDEWALK DETAIL
NTS
* 5" CONCRETE ON PREPARED SUBGRADE IS ACCEPTABLE.



CONCRETE SIDEWALK NEXT TO CURB
NTS



EXPANSION JOINT
(60' MAX. SPACING UNLESS OTHERWISE INDICATED IN PLANS)



FLATWORK AT BUILDING DETAIL
NTS

LEGEND:

	CONCRETE SIDEWALK
	STANDARD CONCRETE PAVEMENT (6" THICKNESS) - REF. GEOTECH REPORT
	CONCENTRATED LOAD PAVEMENT (7" THICKNESS) - REF. GEOTECH REPORT
	FOUNDATION PAVEMENT - REF. STRUCTURAL PLANS

MITCHELL M&M MORGAN
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TX. FIRM # F-1443
3204 EARL RUDDER FWY. S. COLLEGE STATION, TX 77845
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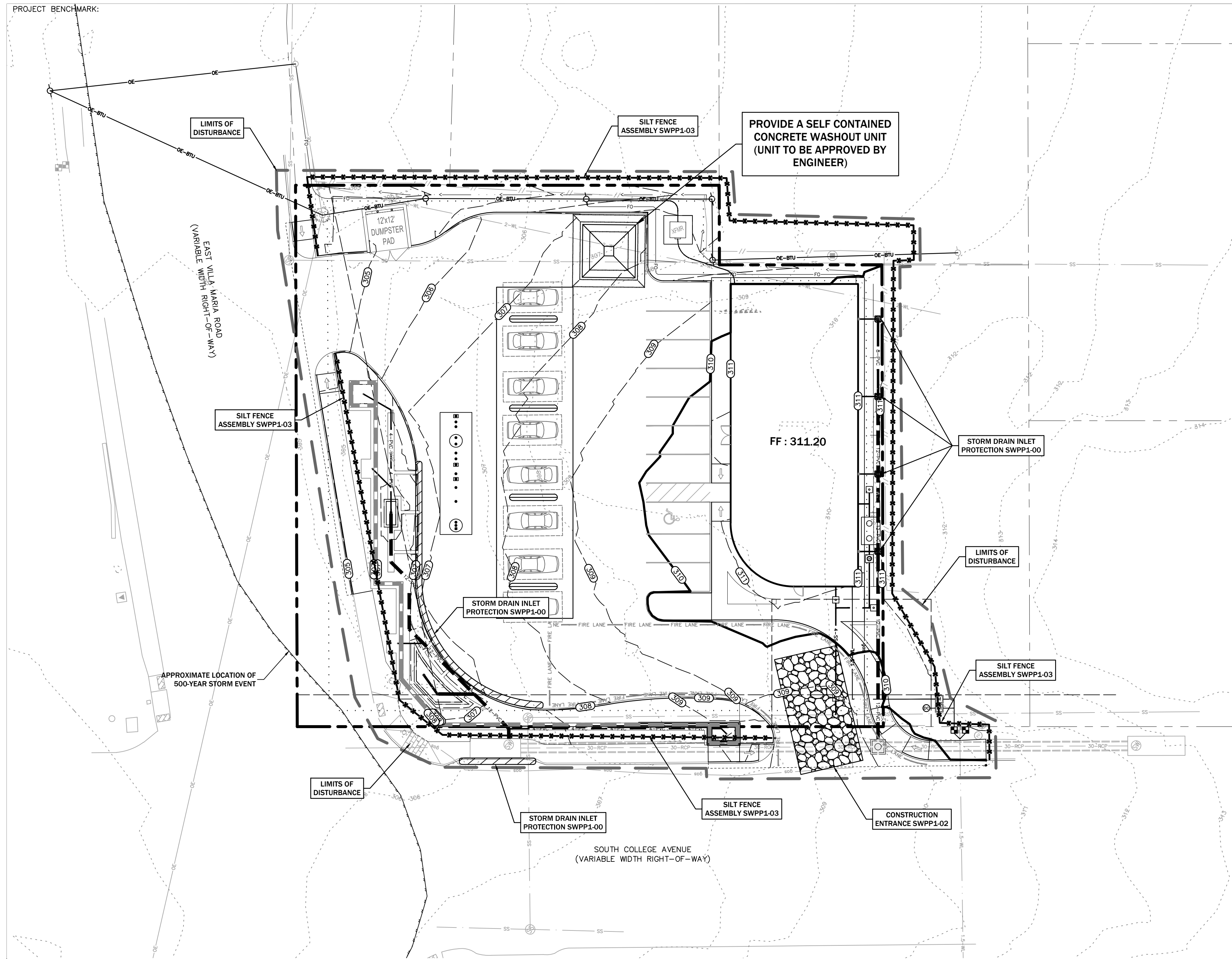
AUGUST 2023
Drawn By: TTE
Checked By: VM

Prepared For:
Vijay Kumar
Johnim LLC
4305E College Station, Texas
77845

Revisions

PAVING PLAN
3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

PP



SWPP Information:

Nature of Construction Activity:
Drainage, utility, and pavement improvements for building construction. Potential pollutants and sources - Sediment from excavation and equipment movement around the site.

- Schedule of Events:**
1. Install silt fencing.
 2. Install stabilized construction exit.
 3. Clear and grub
 4. Install utilities.
 5. Install pavement.
 6. Complete grading and install permanent seeding.
 7. When all construction activity is completed the site is stabilized. Remove silt fence and re-seed any area disturbed during construction and assure a healthy ground cover.

Area of Disturbance:
During the construction of the pavement, drainage, and utility improvements the entire lot will be disturbed except for the existing structures and the grass area behind the existing building.

Structural Controls:
Temporary stabilization - areas where construction activity temporarily ceases for at least 21 days will be stabilized with temporary seed no later than 14 days from the last construction activity in that area all proposed fill material will be seeded.

Silt fence and/or hay bales will be installed at all outfalls, areas where water runs off the site.

Storm Water Management:
Storm water drainage will be controlled by existing grassed areas adjacent to the site. All areas affected by construction will be fine graded and have permanent seeding. The remainder of the area will remain in its natural state.

Offsite vehicle tracking:
A stabilized construction entrance will be provided to reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept to remove any excess mud, dirt, or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

Certification of Compliance with State and Local Regulations:
This storm water pollution prevention plan reflects the city's/state's requirements for storm water management, erosion, and sediment control. To ensure compliance, this plan was prepared in accordance with the city's drainage policy.

Maintenance/Inspection Procedures:
These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls:
- All control measures will be inspected at least once every 14 days and following any storm event of 0.50 inches or greater.
- All BMP's will be maintained in good working order; a repair is necessary it will be initiated within 24 hours of the report.
- Built up sediment will be removed from silt fence when it has reached one-half the height of the fence.
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
- A maintenance inspection report will be made after each inspection. The inspection report form will be prepared by the site superintendent and filed for record.
- A site superintendent will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

Non-storm Water Discharges:
It is expected that the following non-storm water discharges will occur from the site during the construction period:
-Water from water line flushing

Site Description:

Project name and location:
W Villa Maria/S College Gas Station
Bryan, Brazos County, Texas

Developer:
El Elohim, LLC c/o Vijay Kumar
4308 Egremont PL
College Station, Texas 77845

The site is not located on Indian lands.

Latitude: 30° 38' 22.6" N
Longitude: 96° 21' 27.8" W

MS4 operator name: City of Bryan, Texas
Receiving water body: Burton Creek, Bryan, Texas
Estimated area to be disturbed: 0.79 acres

The storm water pollution prevention plan shall be in compliance with state and local sediment and erosion plans.

Operator Requirements:
The operator shall submit a NOI to TCEQ (when applicable) and a copy to the operator and post a copy at the construction site in a location where it is readily available for viewing prior to commencing construction activities, and maintain the notice in that location until completion of the construction activity.

The operator shall provide a copy of NOI to the operator of the municipal separate storm sewer system receiving the discharge, at least two (2) days prior to commencing construction activities.

The operator shall submit a NOT to TCEQ (when applicable) and a copy to the operator of the municipal storm sewer system once the final stabilization has been achieved and the temporary erosion controls have been removed.

Controls must be developed to limit, to the extent practicable, offsite transport of litter, construction debris and construction materials.

Operator Inspection Requirements:
The following records must be maintained and either attached to or referenced in the storm water plan:

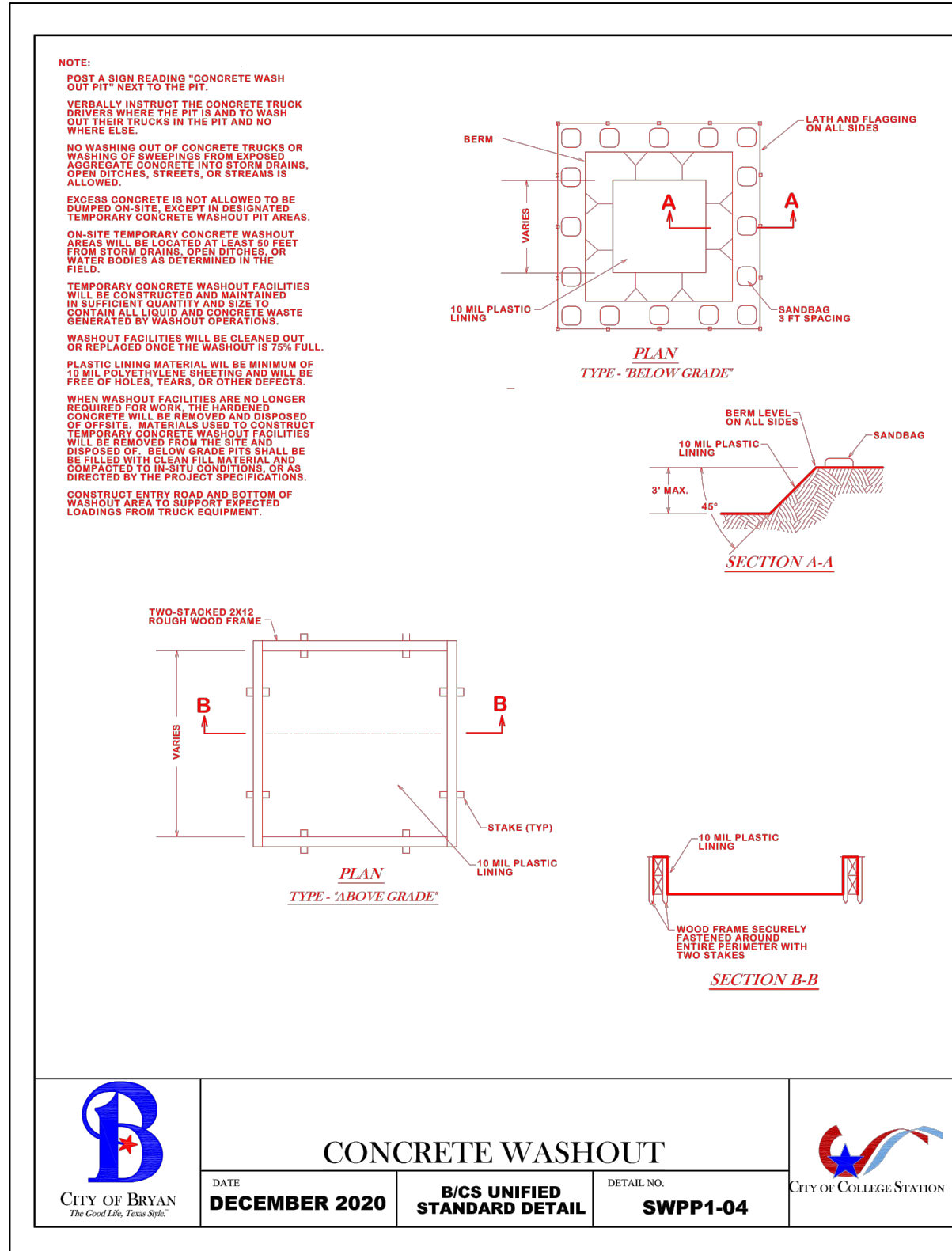
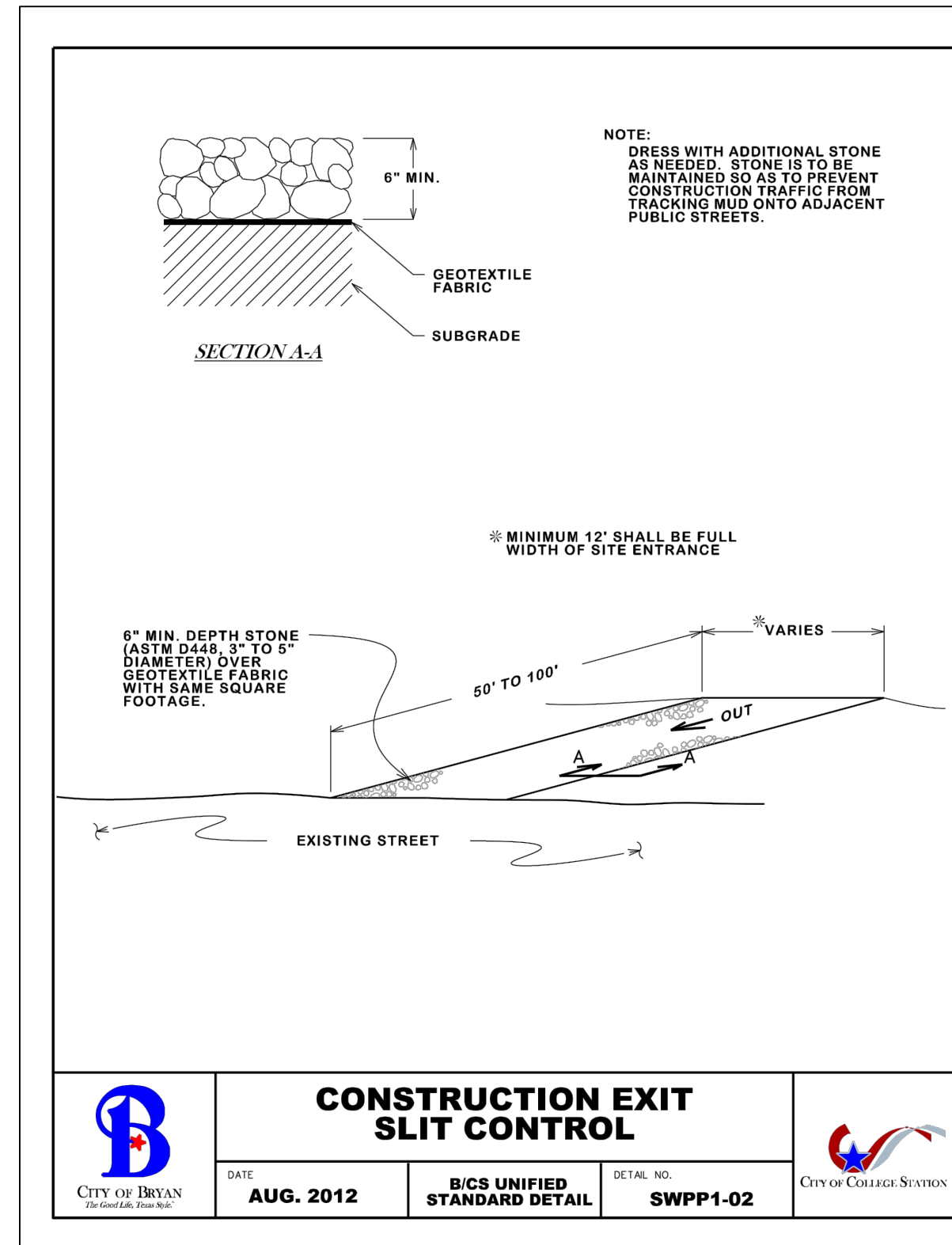
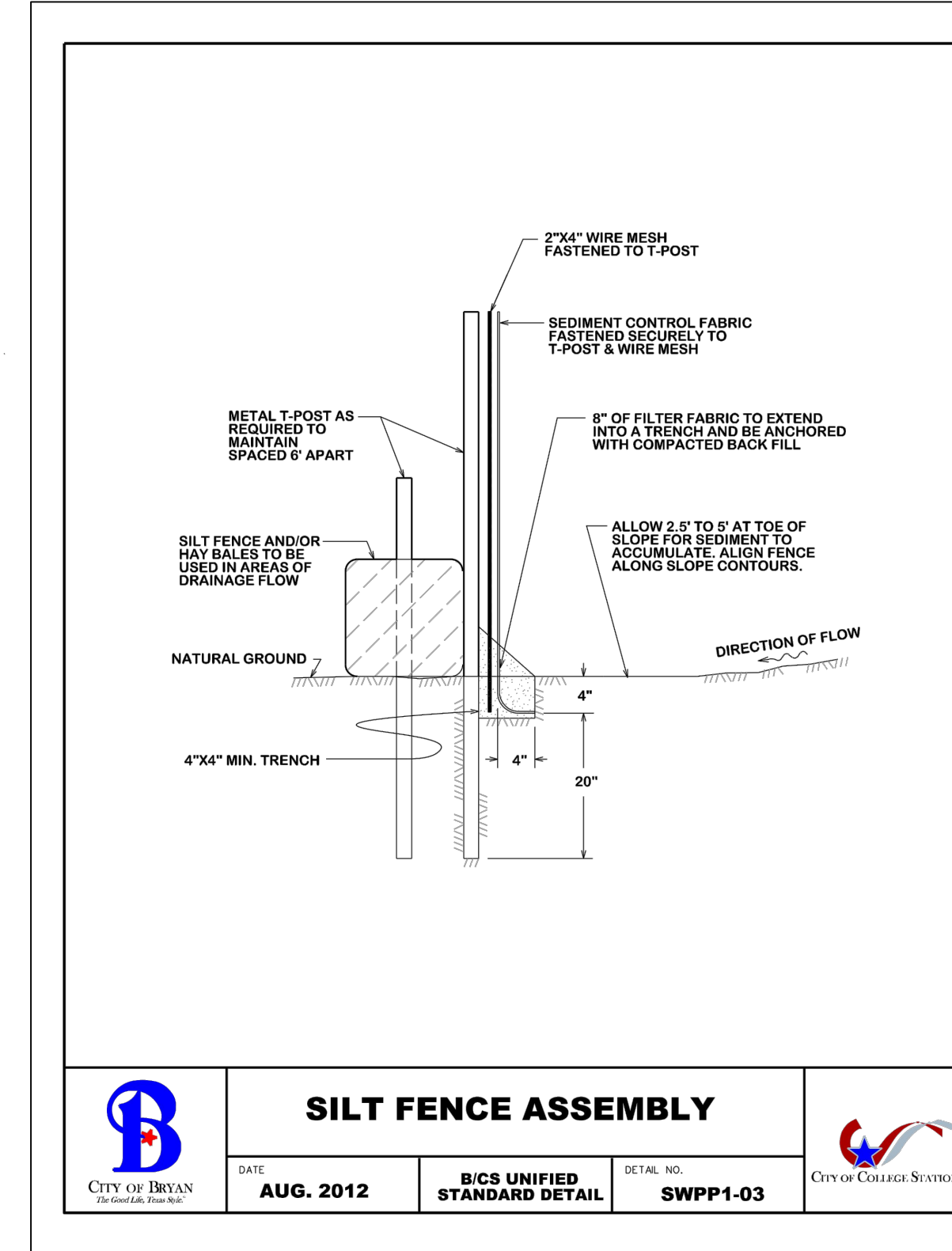
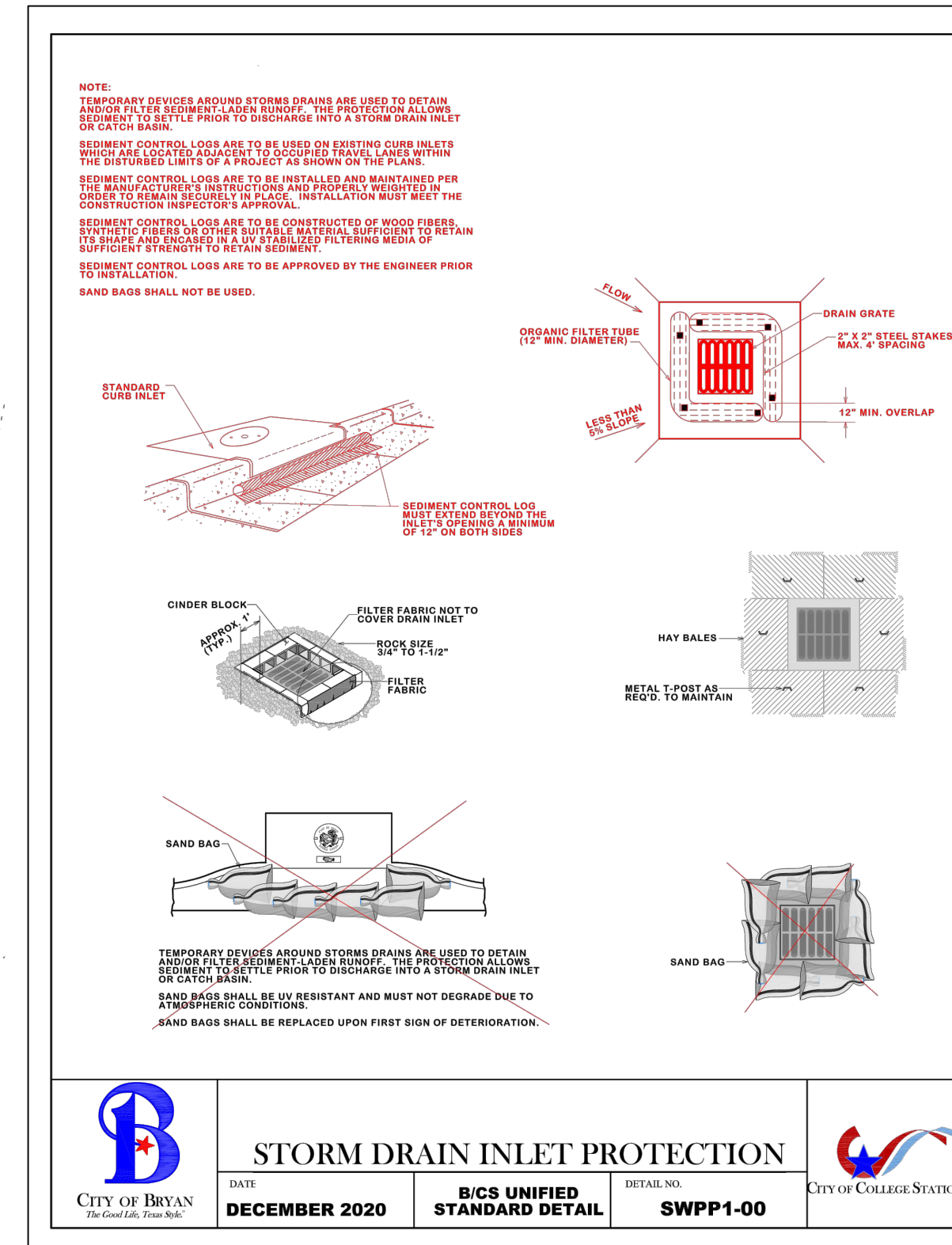
- The dates when major grading activities occur.
- The dates when construction activities temporarily or permanently cease on a portion of the site.
- The dates when stabilization measures are initiated.

A report summarizing the scope of the inspection, name and qualifications of personnel making the inspection, the dates of the inspection, and major observations must be made and retained with the storm water plan. Major observations should include:
- The locations of discharges of sediment or other pollutants from the site;
- Locations of BMP's that failed to operate as designed or proved inadequate for a particular location; and
- Location where additional BMP's are needed.

Operator's Record Keeping:
The permittee must retain the following records for a minimum of 3 years from the date that a NOT is submitted:
- A copy of the storm water plan and
- All reports and actions required by this permit, including a copy of the construction site notice all data used to complete the NOI.

SWPP PLAN NOTES:

1. All contractor vehicles, including employee's vehicles, shall park within the project site to minimize traffic on the public streets adjacent to the worksite entrance. Contractor will provide sufficient parking areas to accommodate his vehicles. Any areas disturbed by vehicular parking will be repaired to original condition prior to completion of project.
2. If required on the plans, the contractor shall maintain a vehicle wash down area of sufficient size and in a location to facilitate cleaning his vehicles prior to leaving the work site.
3. All areas where existing vegetation and grass cover have been bared by construction shall be adequately block sodded or hydromulched and watered until growth is established. In developed areas where grass is present, block sod will be required. Bared areas shall be seeded or sodded within 14 calendar days of last disturbance. All erosion control measures shall remain in place until acceptable vegetative growth is established after construction is complete and then removed by contractor.
4. Approved erosion control measures must be installed during the entire time earth has been bared by construction and shall stay in place until acceptable vegetative growth is established after construction is complete and then removed by the contractor.
5. All erosion control measures should be cleaned of silt after every rain event.
6. Approved erosion control measures must be installed during the entire time earth has been bared by construction
7. It is the responsibility of the contractor to use whatever means necessary to minimize erosion and prevent sediment from leaving the project site.
8. The contractor is responsible for implementing, inspecting and maintaining the erosion and sediment control devices.
9. Construction exit is to be dressed with additional rock as needed and maintain so as to prevent construction traffic from tracking mud onto adjacent public streets.
10. Inspection shall be performed every 14 days and every rainfall event of 1/2" or more. All erosion control devices shall be cleaned of silt (as needed) after every rain.
11. Structural controls shall be installed as soon after clearing as practical and maintained in good working order until the site is stabilized. Alternate structural controls may be utilized if approved by Engineer.
12. The contractor is responsible for complying with the TPDES General Permit No. TXR150000 requirements for construction sites.
13. The contractor shall coordinate with the owner to determine a temporary spoils, earthwork, and topsoil area for the site.
14. All areas that have a slope >15% shall be hydromulched (mix determined based upon season) upon completion of grading and contractor shall utilize a rolled single net straw erosion control blanket with poly netting (US-LS) as produced by US Erosion Control Products or approved equal to lay over the hydromulched slope. Contractor shall be responsible for watering and assuring 80% coverage in 21 days.
15. Contractor shall strip topsoil from the site prior to construction and stockpile and protect from contamination from other soils for later use onsite by the landscape contractor.



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Vijay Kumar, P.E.
Vijay Kumar, P.E.
No. 77845

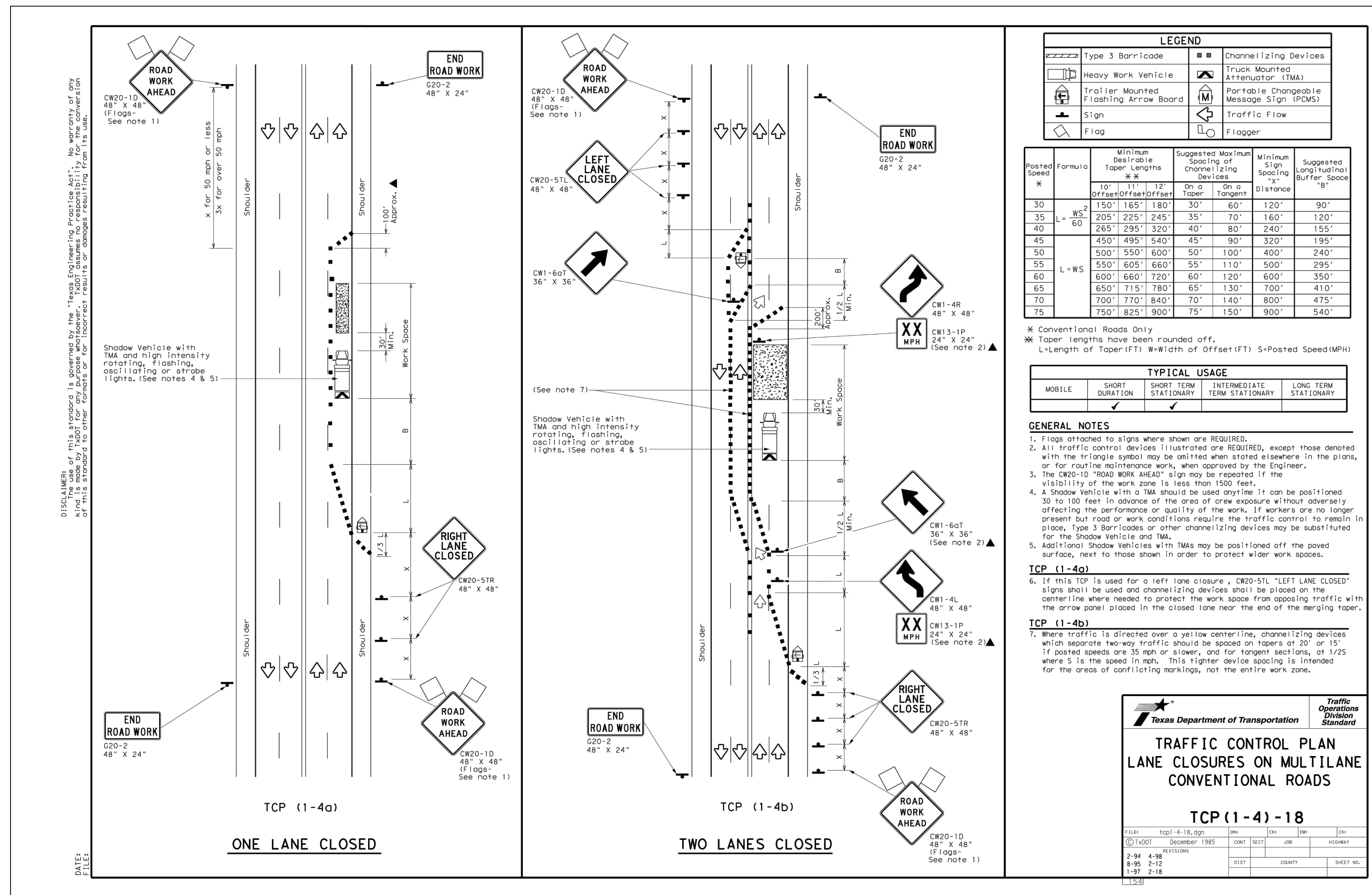
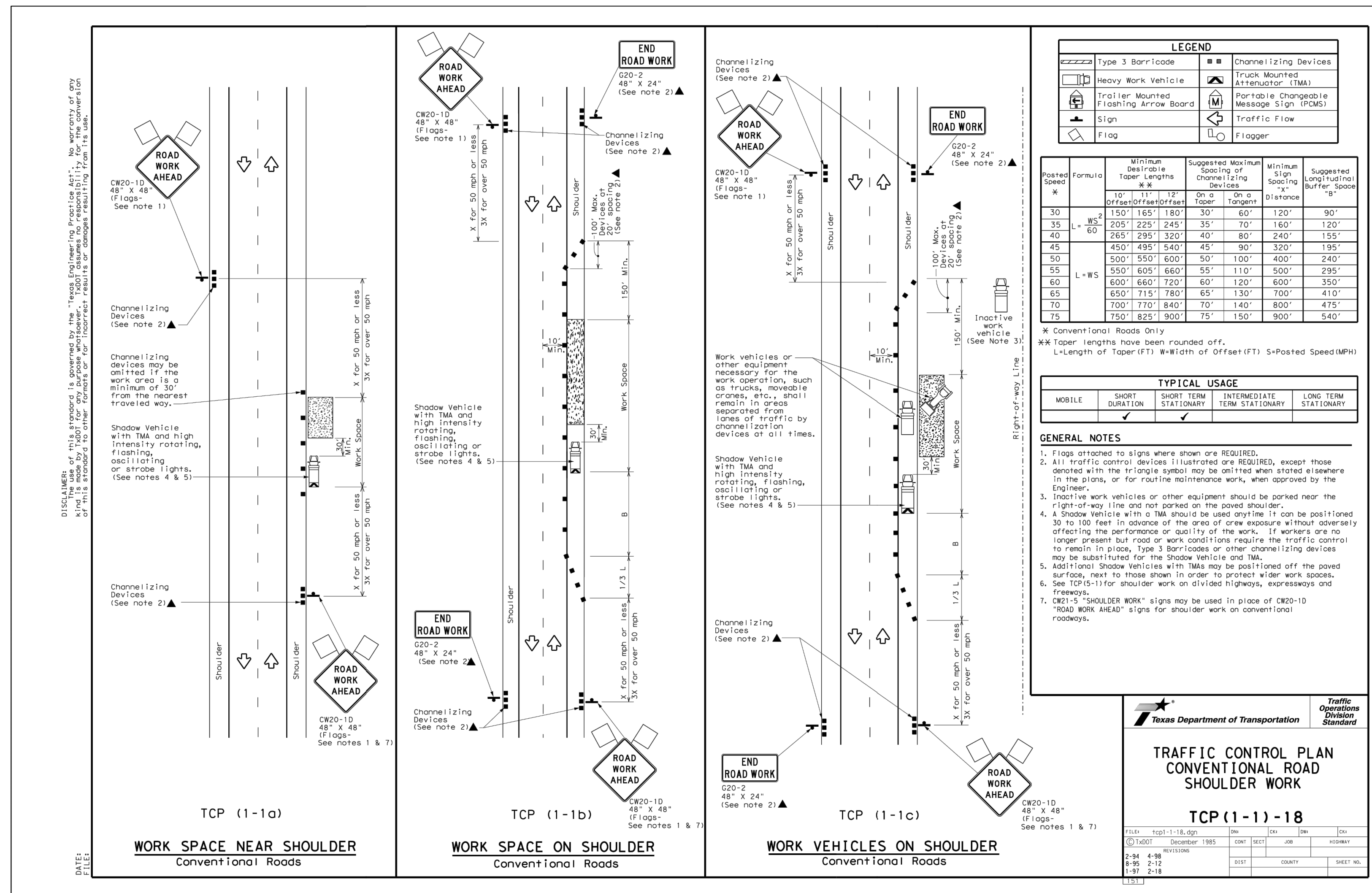
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EROSION CONTROL PLAN
3201 SOUTH COLLEGE AVENUE 0.689 ACRE TRACT

ECP

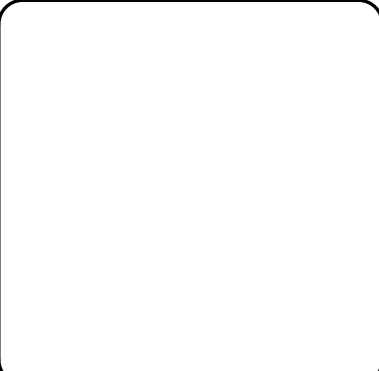
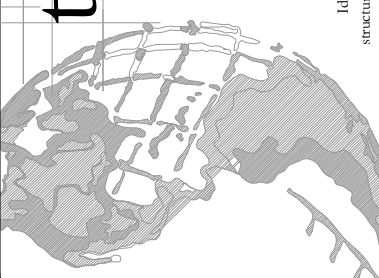


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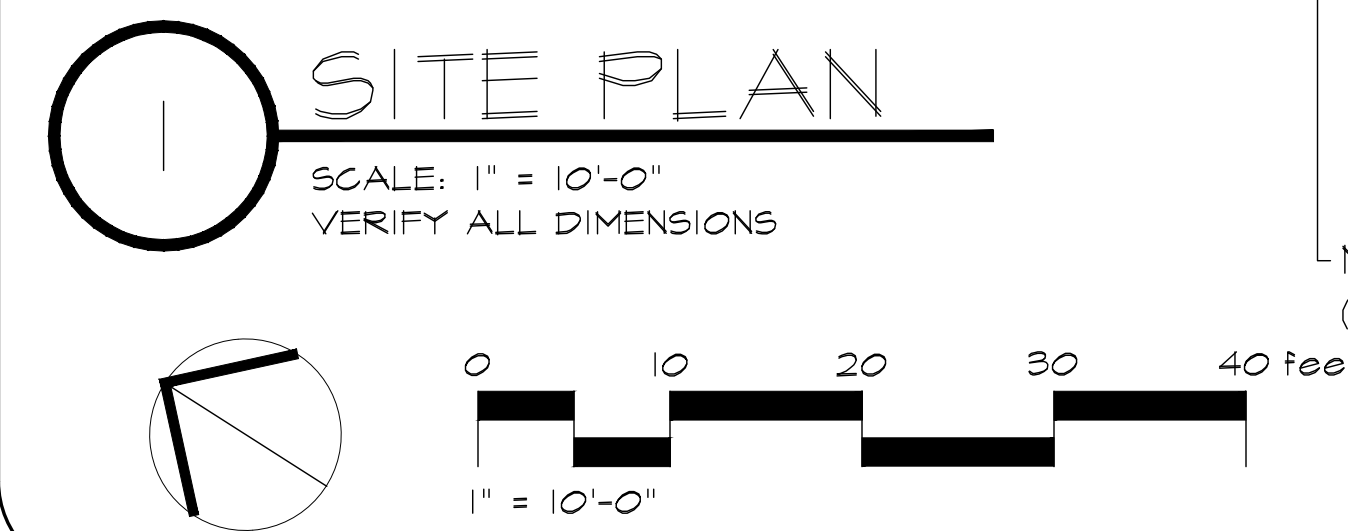
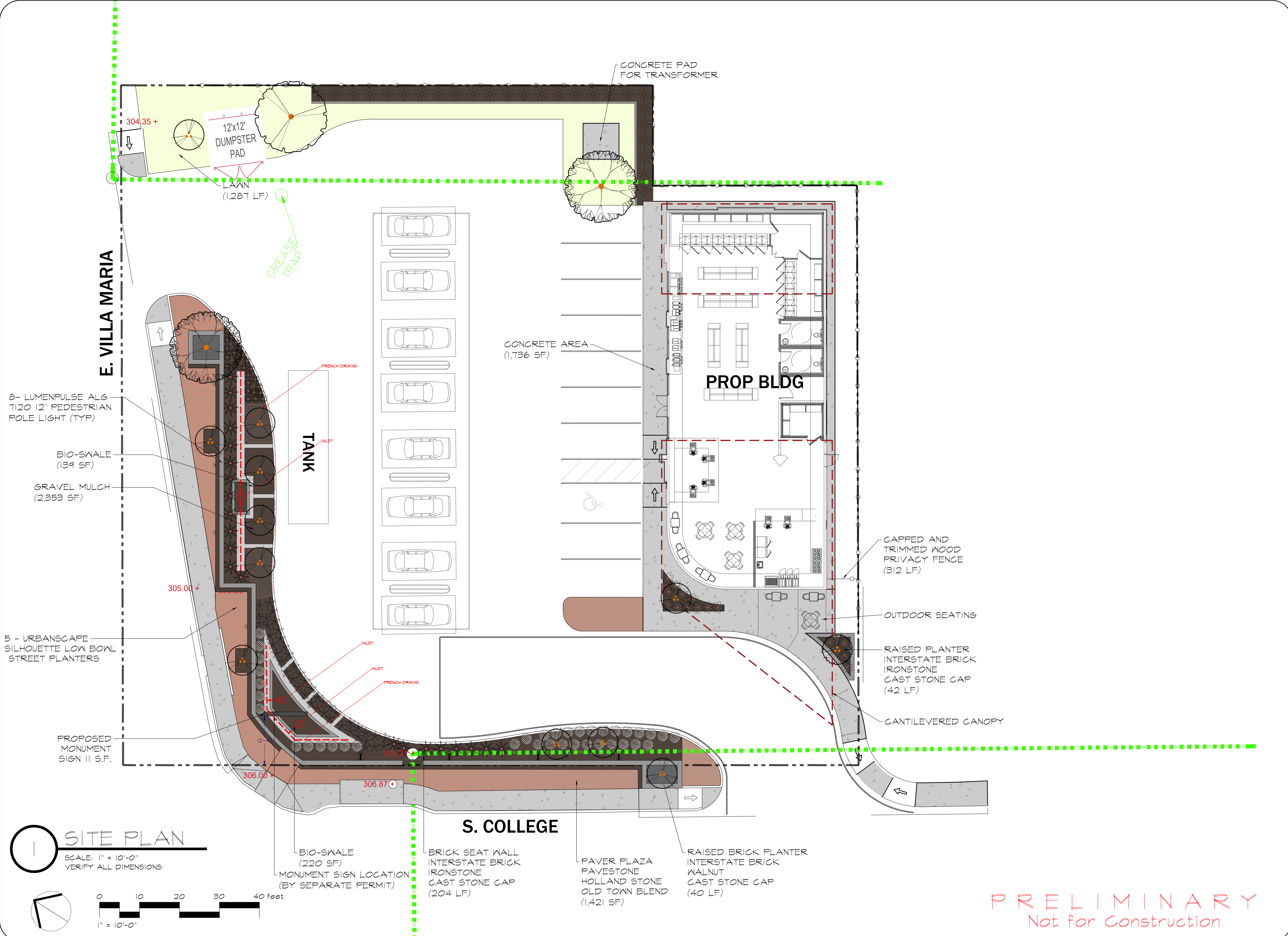
3201 SOUTH COLLEGE AVE.

the land design group inc.
547 william d. fitch pkwy #108 college station, texas 77845 979.846.2775
MIDTOWN PETROL STATION



DRAWN	CT
CHECKED	AK
DATE	8-29-23
SCALE	1" = 10'-0"
JOB NO.	LDG 22.106.11
SHEET	

LS 1
OF



PRELIMINARY
Not for Construction

Submittals	BY



3201 SOUTH COLLEGE AVE.

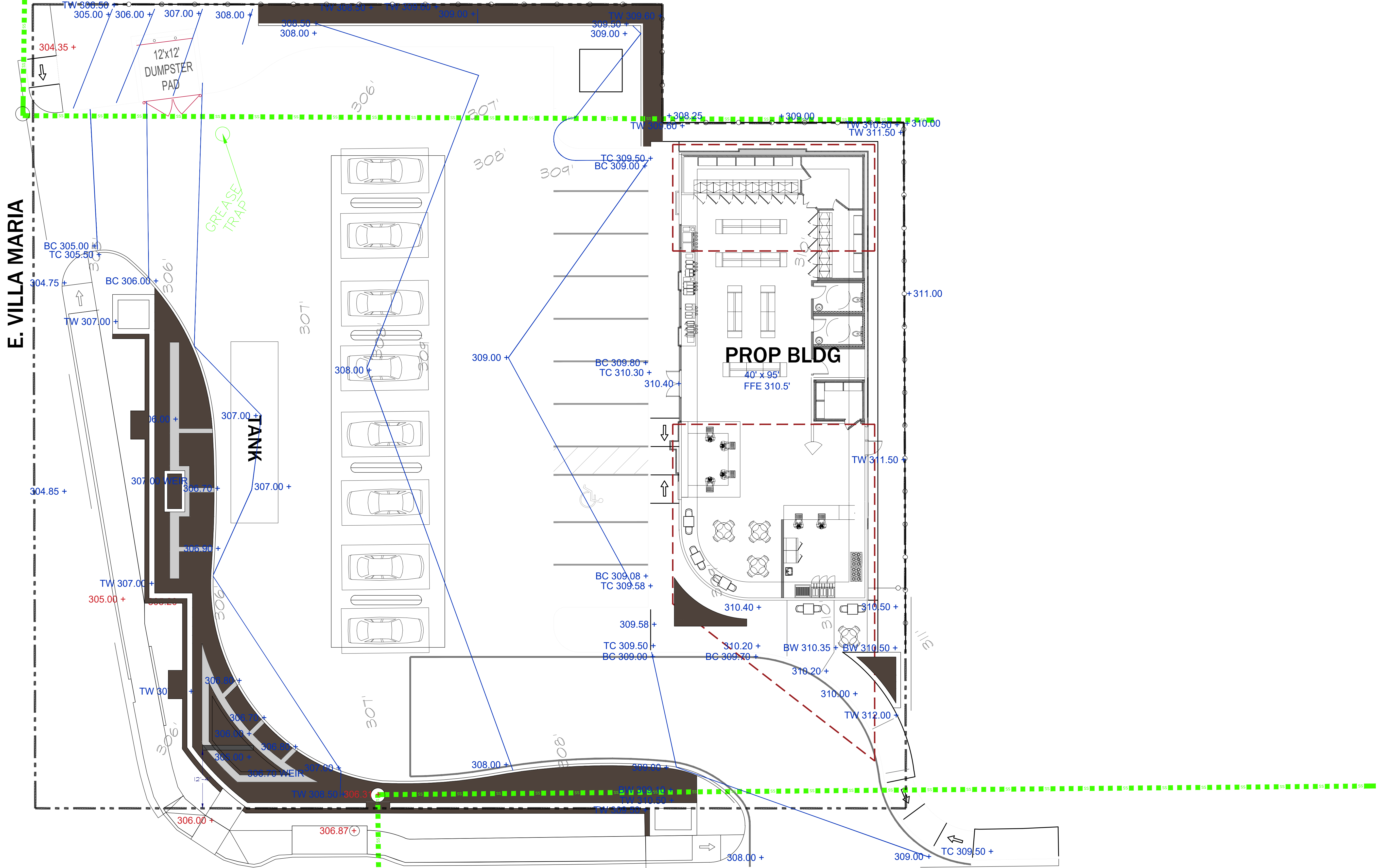
the land design group inc.
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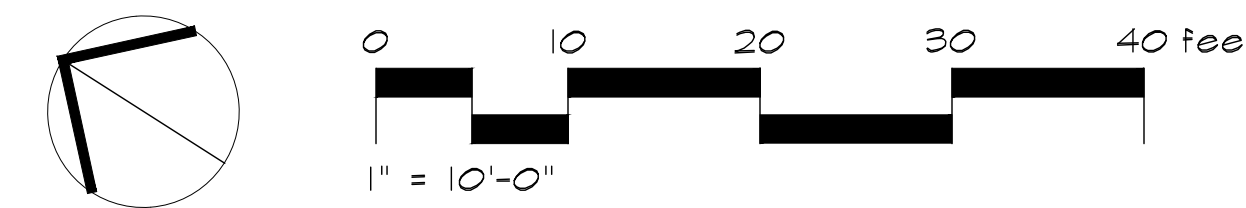
MIDTOWN PETROL STATION

DRAWN: CT
CHECKED: AK
DATE: 8-29-23
SCALE: 1" = 10'-0"
JOB NO.: LDG 22.106.11
SHEET

LS 2 OF

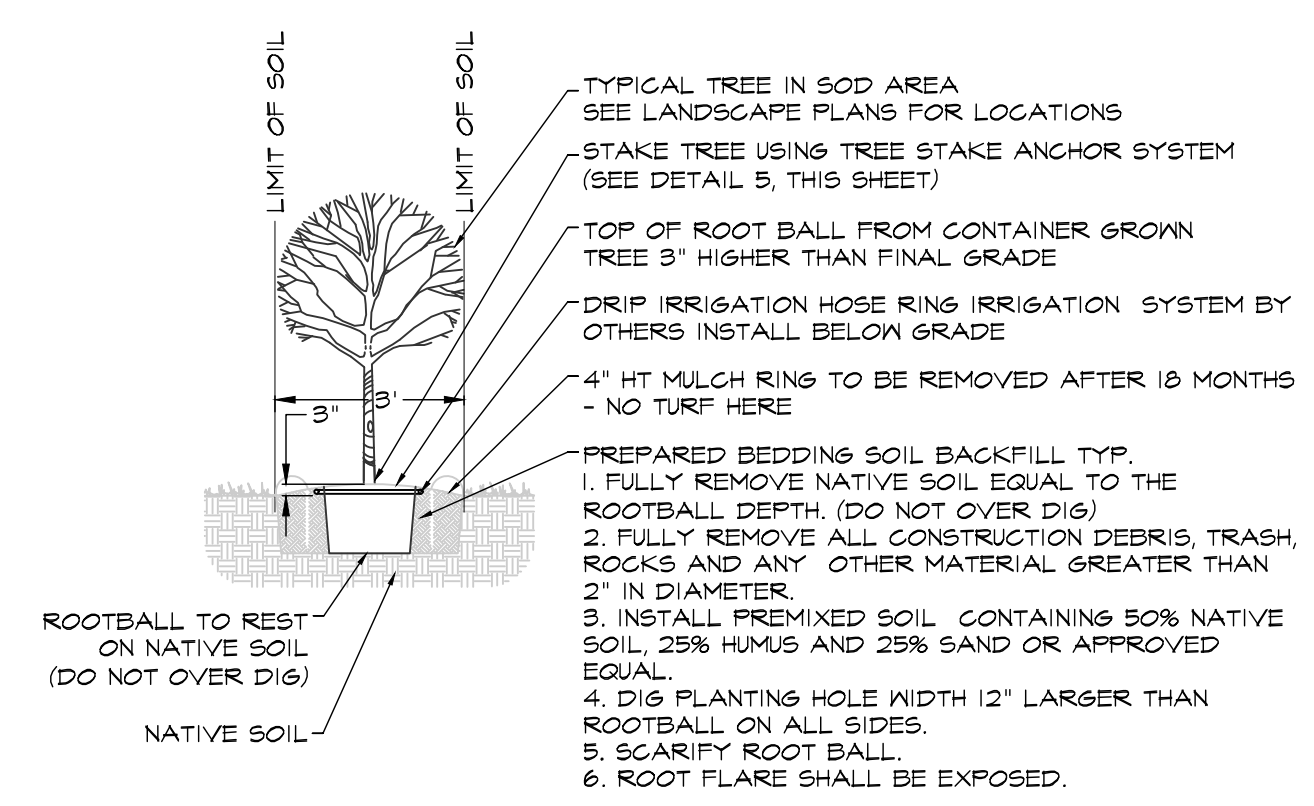


GRADING PLAN
SCALE: 1" = 10'-0"
VERIFY ALL DIMENSIONS



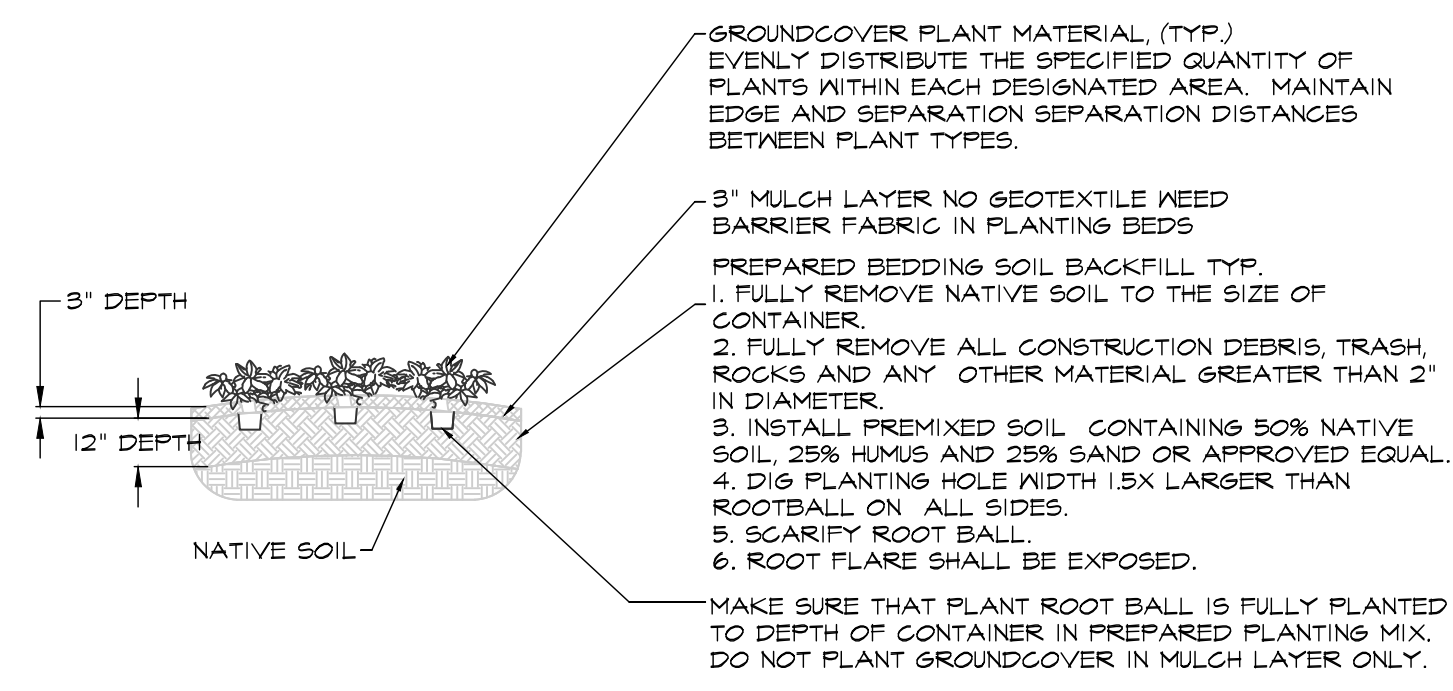
PRELIMINARY
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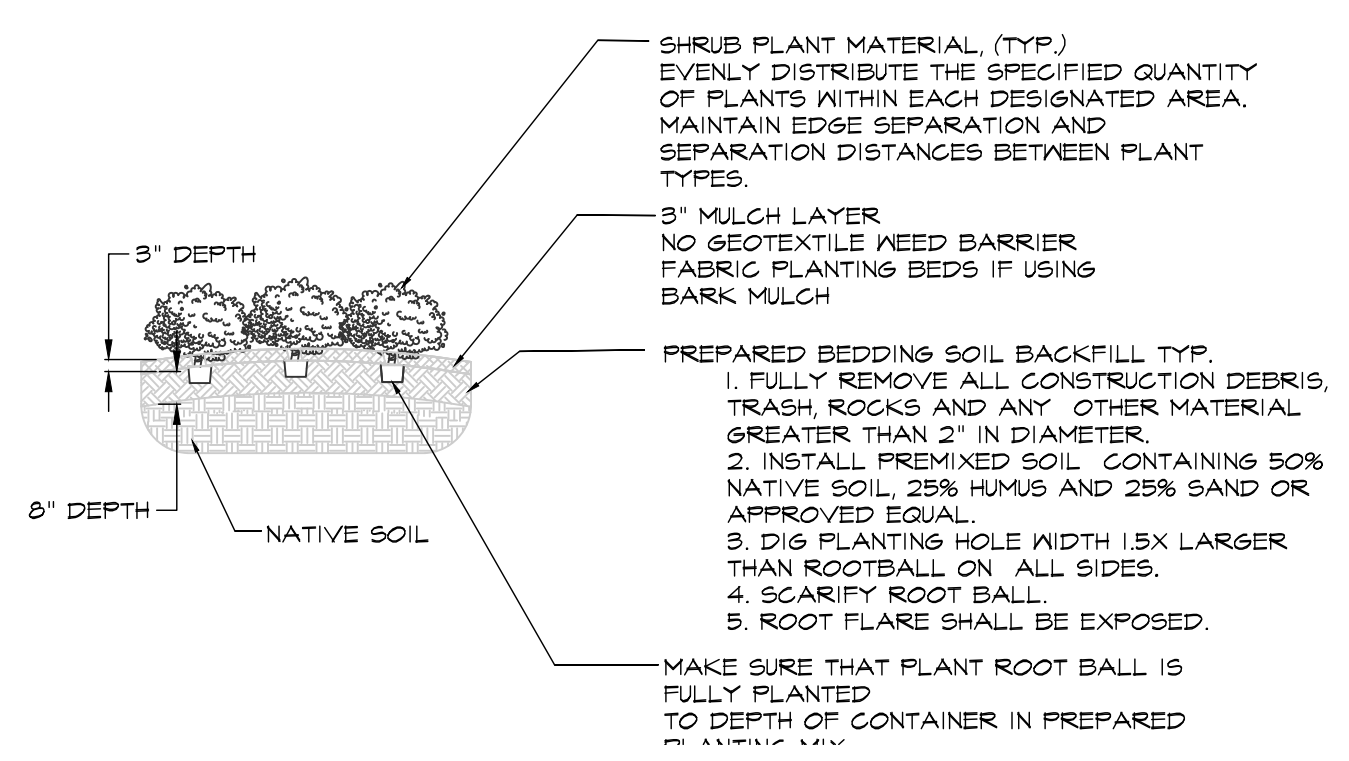
1 TREE PLANTING

SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS



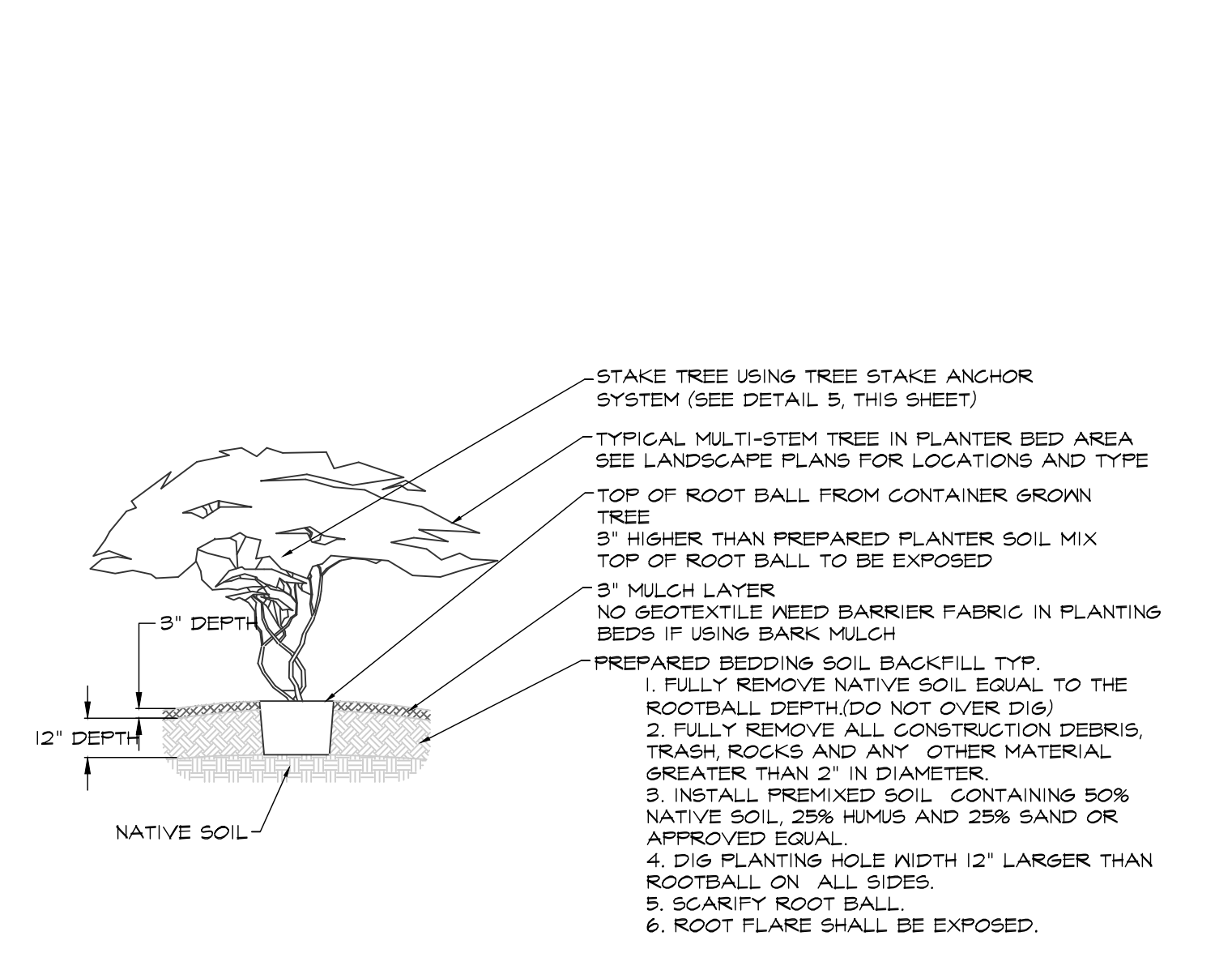
2 GROUNDCOVER PLANTING

SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS



3 SHRUB PLANTING

SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS



4 NON CANOPY TREE PLANTING

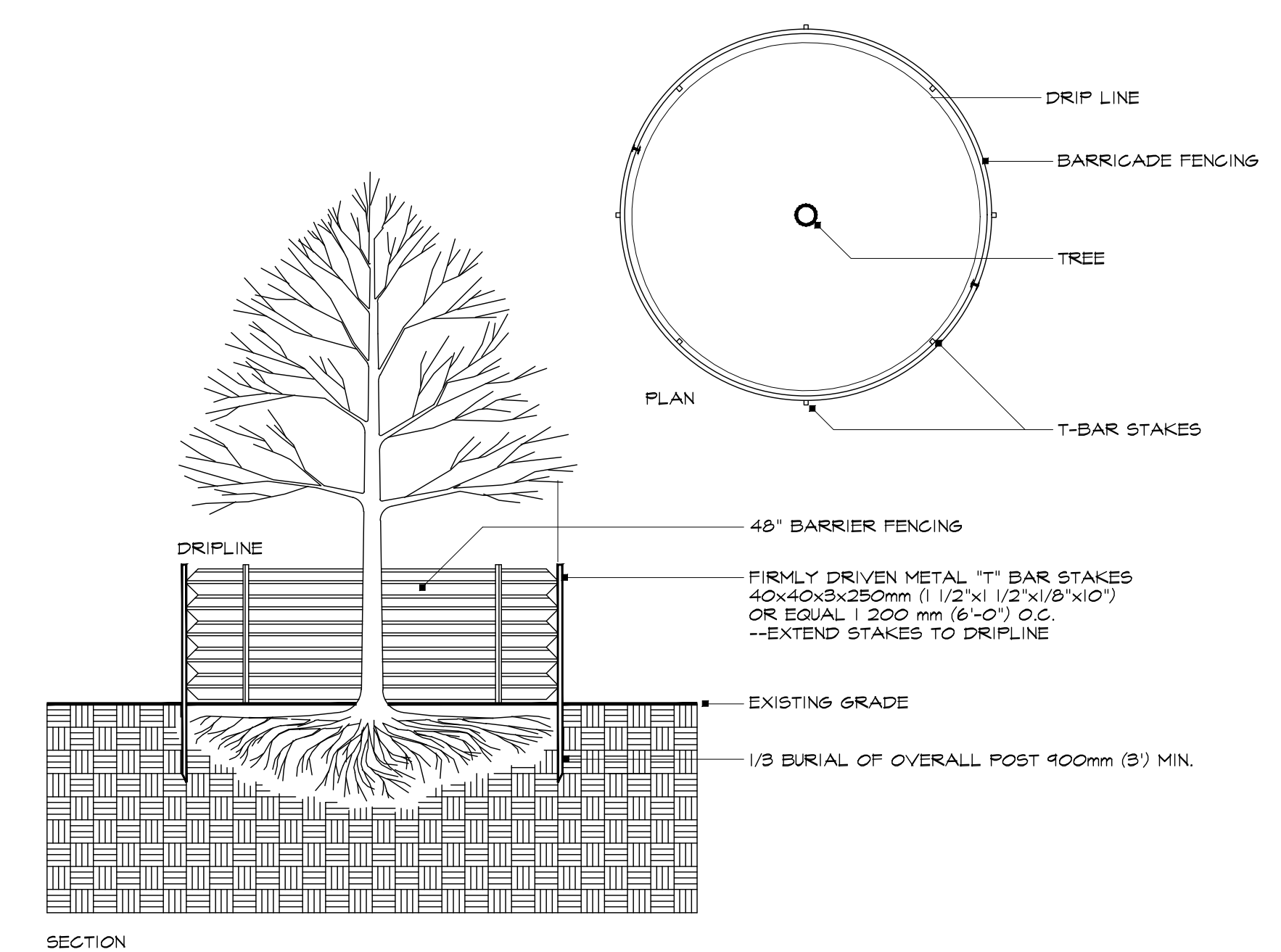
SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS

POST ANCHOR TYPE	POST BALL & ANCHOR DIA.	ANCHOR DEPTH/LENGTH DIA.	QUANTITY & ANCHOR DIA.
TYPE 1	1/2" x 1/2" x 1/2"	12" x 1/2"	1 - 1/2"
TYPE 2	1/2" x 1/2" x 1/2"	12" x 1/2"	2 - 1/2"
TYPE 3	1/2" x 1/2" x 1/2"	12" x 1/2"	3 - 1/2"
TYPE 4	1/2" x 1/2" x 1/2"	12" x 1/2"	4 - 1/2"
TYPE 5	1/2" x 1/2" x 1/2"	12" x 1/2"	5 - 1/2"
TYPE 6	1/2" x 1/2" x 1/2"	12" x 1/2"	6 - 1/2"
TYPE 7	1/2" x 1/2" x 1/2"	12" x 1/2"	7 - 1/2"
TYPE 8	1/2" x 1/2" x 1/2"	12" x 1/2"	8 - 1/2"
TYPE 9	1/2" x 1/2" x 1/2"	12" x 1/2"	9 - 1/2"
TYPE 10	1/2" x 1/2" x 1/2"	12" x 1/2"	10 - 1/2"

TREE STAKE SOLUTIONS, LLC.
9973 FM 521 Road
Rockdale, Texas 77853
www.treestakesolutions.com
Phone: 281-778-1400
Mobile: 281-954-6143
Fax: 281-778-1425

5 ROOTBALL ANCHOR

SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS



6 TREE PROTECTION

SCALE: 1/4" = 1'-0"
VERIFY ALL DIMENSIONS

TREE PROTECTION ZONE

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION FENCING.

Doing so may result in a stop work order.

Please contact the landscape architect at (979)846-2775 if alterations to the approved location of the tree protection fence are necessary.

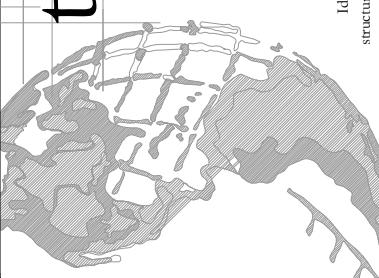
ALUMALITE SIGN MATERIAL WITH MOUNTING HOLES AT THE CORNERS TO ZIP TIE CONSTRUCTION FENCE EVERY 50' 48" OFF THE GROUND

7 TREE PROTECTION SIGNAGE

SCALE: 1" = 1'-0"
VERIFY ALL DIMENSIONS

3201 SOUTH COLLEGE AVE.

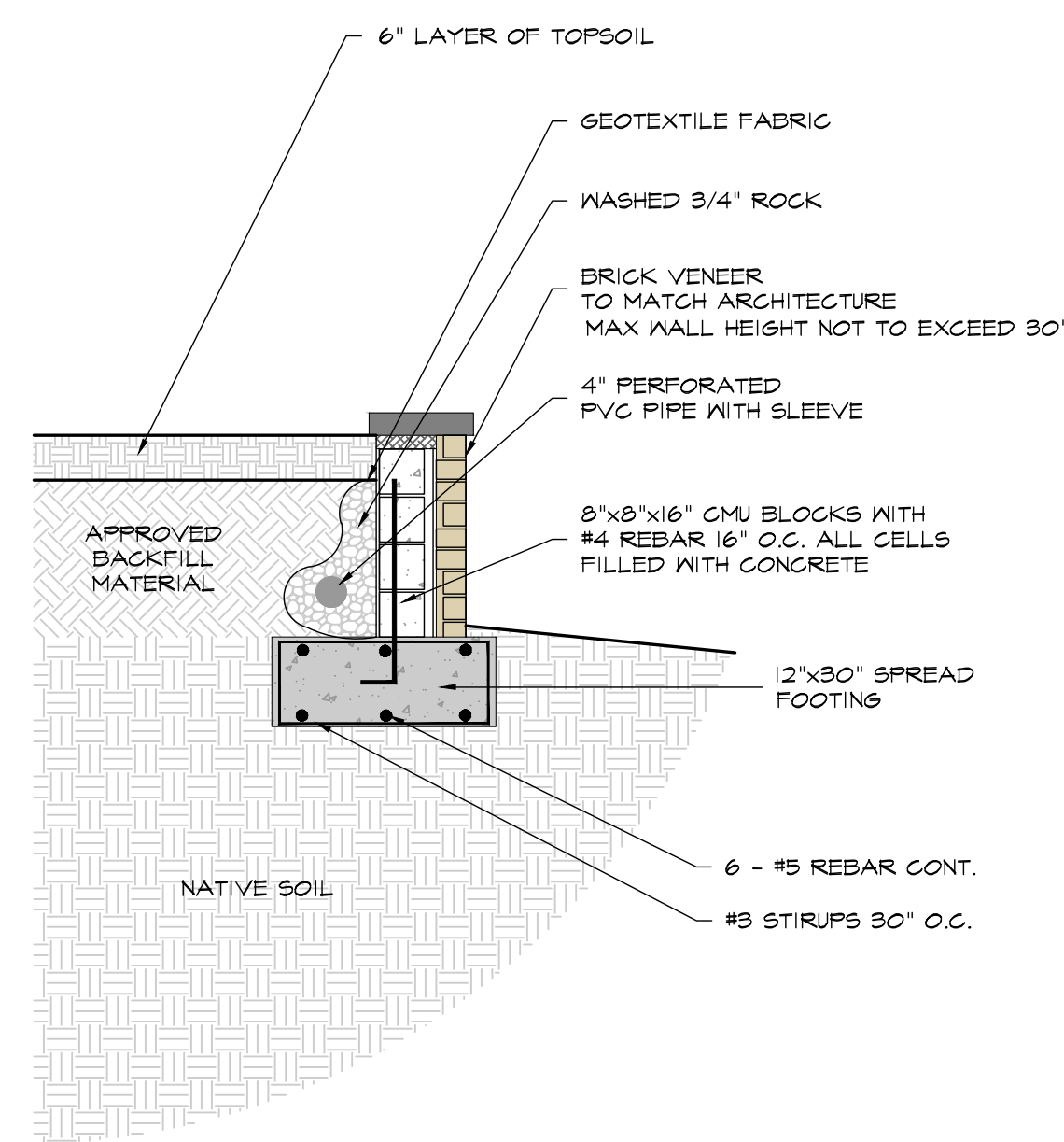
the land design group inc.
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MIDTOWN PETROL STATION



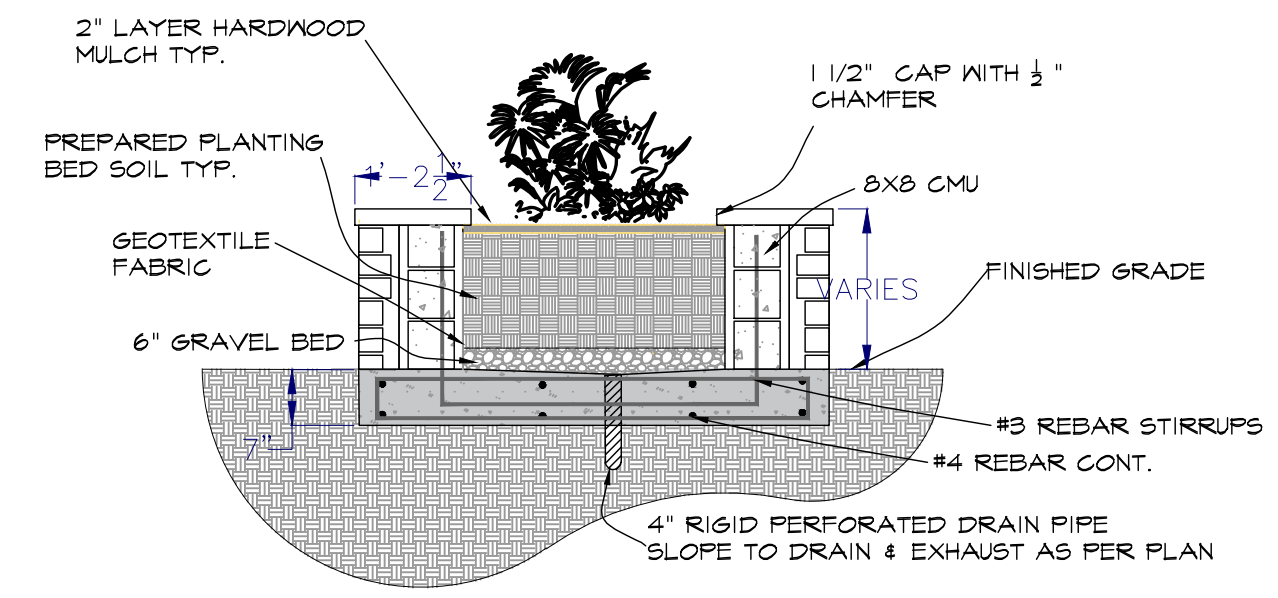
DRAWN	CJG
CHECKED	AK
DATE	8-29-23
SCALE	VARIABLES
JOB NO.	LDG 22.106.11
SHEET	

D 1 OF

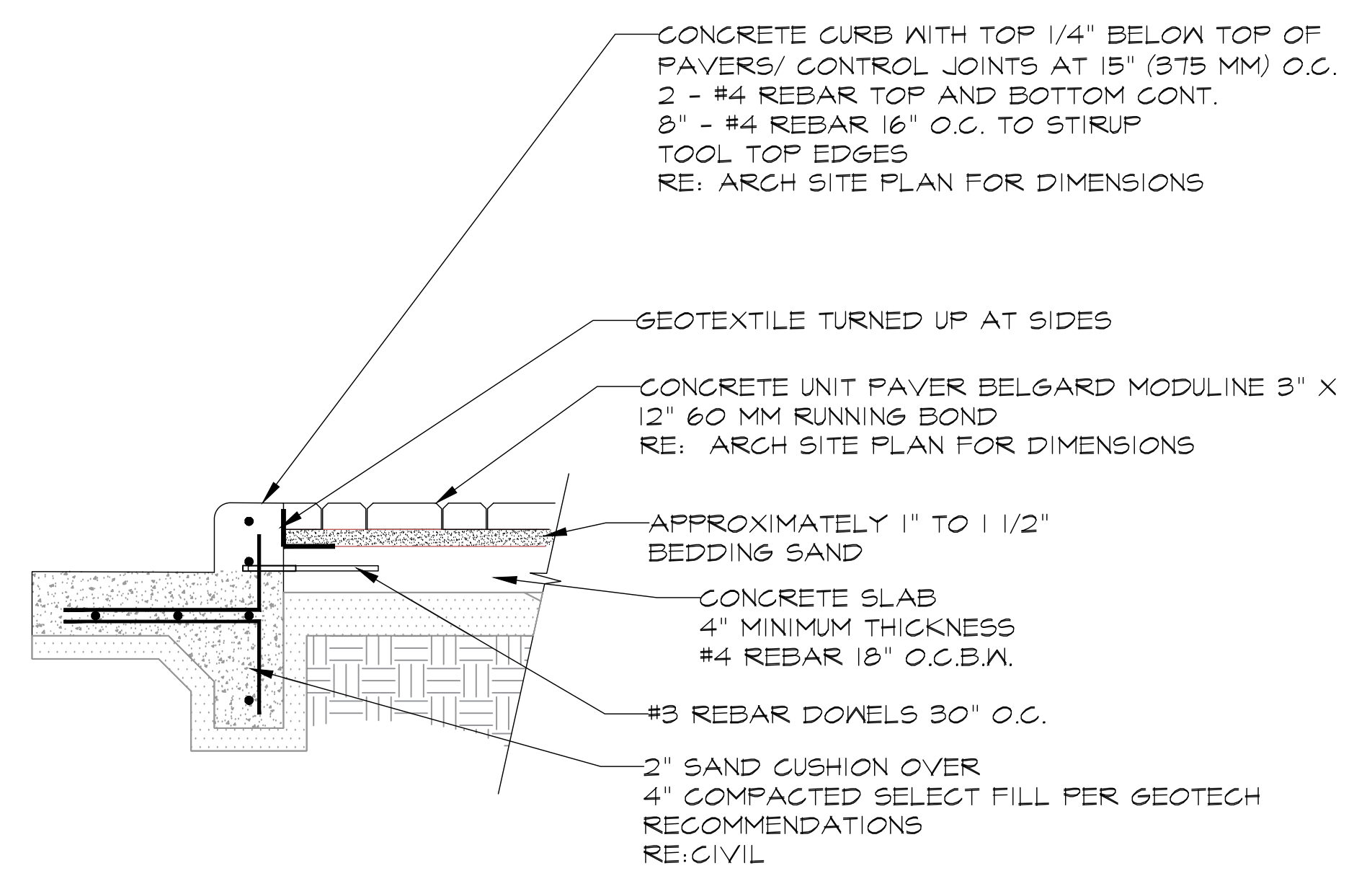
Submittals	BY



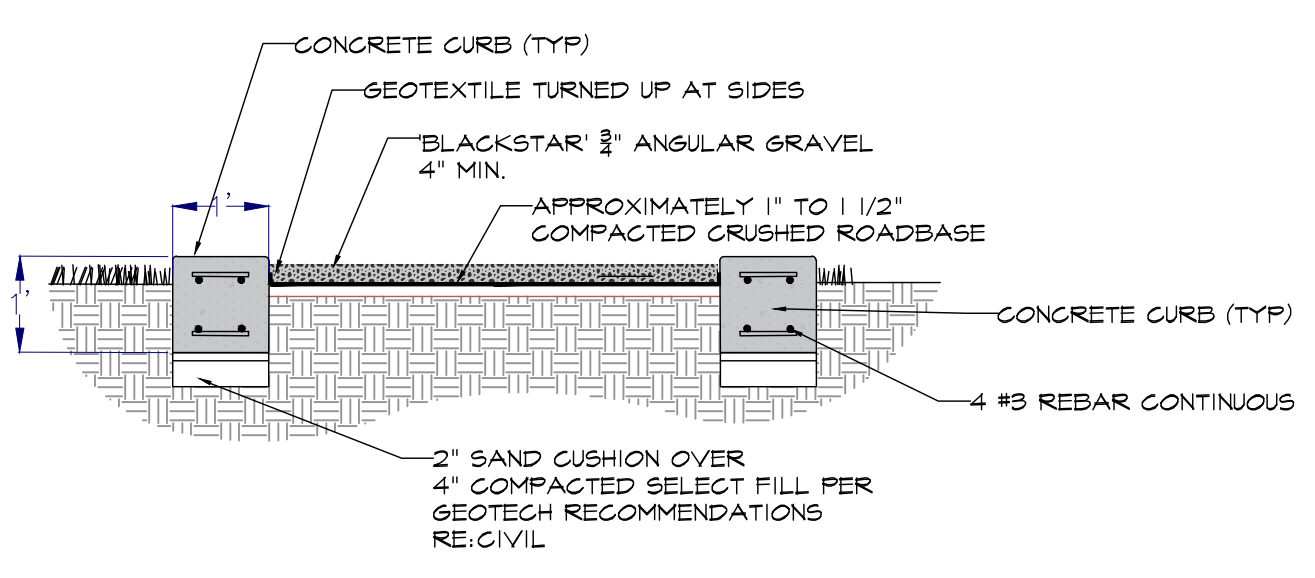
1 RETAINING WALL
SCALE: 1/2" = 1'-0"
VERIFY ALL DIMENSIONS



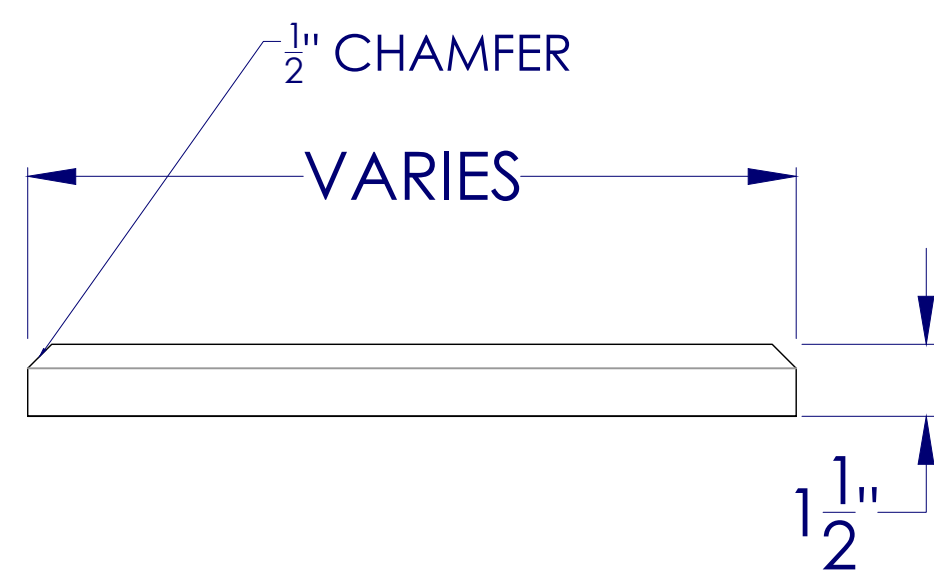
2 CONCRETE PLANTER SECTION
SCALE: 1/2" = 1'-0"
VERIFY ALL DIMENSIONS



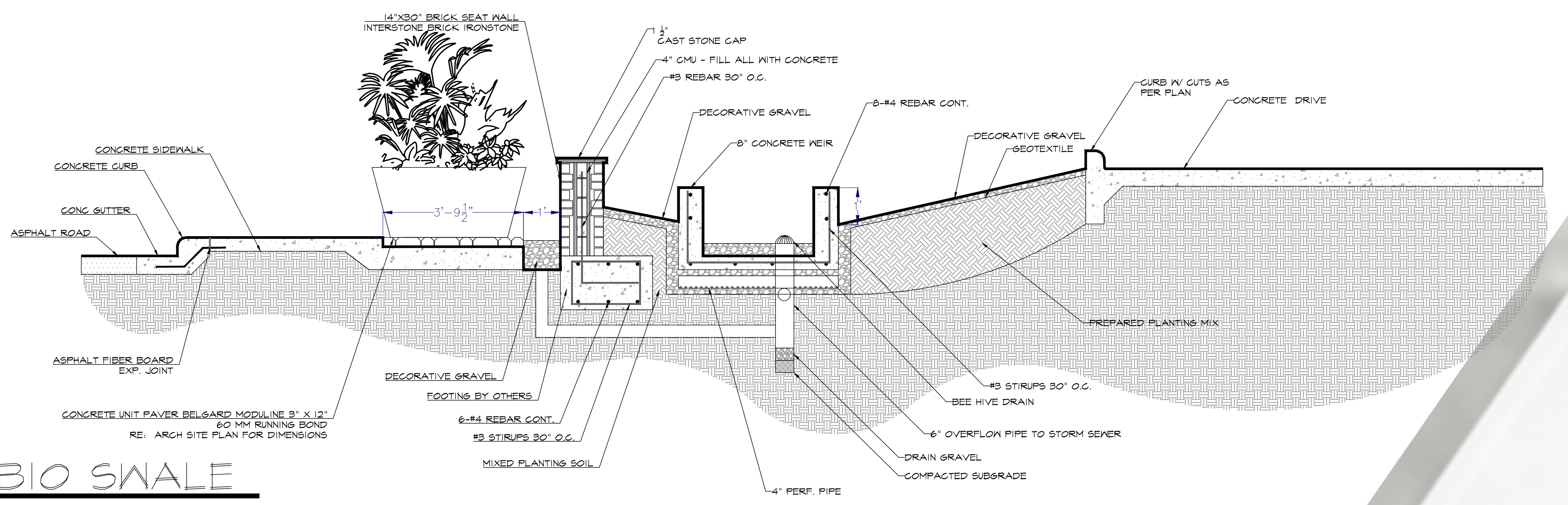
3 CONCRETE PAVER SECTION
SCALE: 1" = 1'-0"
VERIFY ALL DIMENSIONS



4 GRAVEL MULCH
SCALE: 1/2" = 1'-0"
VERIFY ALL DIMENSIONS



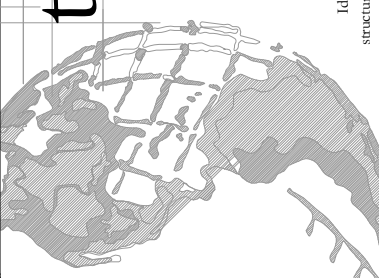
5 CAST STONE CAPS
SCALE: 1/2" = 1'-0"
VERIFY ALL DIMENSIONS



5 BIO SWALE
SCALE: 1/2" = 1'-0"
VERIFY ALL DIMENSIONS

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